

TEACH TECH CHARTER SCHOOL PARKING AND SHADE STRUCTURE

TEACH CHARTER MIDDLE SCHOOL & ELEMENTARY SCHOOL

10000 S. WESTERN AVE., 10001 S. WESTERN AVE., 10045 S WESTERN AVE., LOS ANGELES, CA 90047

Job No. **2019-9060**
 DATE: 02-20-2020
 REV. DESCRIPTION: BUILDING DEPARTMENT SUBMITTAL
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TEACH PARKING & SHADE STRUCTURE
 10045 S. WESTERN AVE., LOS ANGELES, CA

TITLE SHEET
 Sheet: **T-1.0**
 1 of 8 shts.

ABBREVIATIONS

| | | | |
|-------------|---|-----------|----------------------|
| A.B. | ANCHOR BOLT | MIN. | MINIMUM |
| A/C | AIR CONDITIONING | M.O. | MASONRY OPENING |
| A.C. | ASPHALTIC CONCRETE | MTL. | METAL |
| A.D. | AREA DRAIN | (N) | NEW |
| A.F.F. | ABOVE FINISH FLOOR | N | NORTH |
| ALUM. | ALUMINUM | N. | NAIL |
| ANOD. | ANODIZED | N.G. | NATURAL GRADE |
| A.P. | ACCESS PANEL | N.I.C. | NOT IN CONTRACT |
| ARCH. | ARCHITECTURAL | NO. | NUMBER |
| A.T. | ASPHALT TILE | NOM. | NOMINAL |
| | | N.T.S. | NOT TO SCALE |
| BD. | BOARD | O/ | OVER |
| B.L. | BUILDING LINE | OA. | OVERALL |
| BLDG. | BUILDING | OC. | ON CENTER |
| BLKG. | BLOCKING | O/H | OVERHEAD |
| BOT. | BOTTOM | O.F.D. | OVERFLOW DRAIN |
| B.U.R. | BUILT UP ROOFING | OPWS. | OPENING |
| | | OPP. | OPPOSITE |
| | | O.S. | OVERFLOW SCUPPER |
| C.B. | CATCH BASIN | P.A. | PLANTING AREA |
| C.I. | CAST IRON | P.C. | PRE-CAST CONCRETE |
| C.J. | CENTER JOINT | P.D. | PLANTER DRAIN |
| C.L. | CENTER LINE | P.L. | PLATE |
| CLG. | CEILING | P.L. | PROPERTY LINE |
| CLR. | CLEAR | PLYWD. | PLYWOOD |
| C.M.U. | CONC. MASONRY UNIT | PLMB. | PLUMBING |
| COL. | COLUMN | PR. | PAIR |
| CONC. | CONCRETE | PT. | PAINT |
| CONC. BLK. | CONCRETE BLOCK | | |
| CONST. | CONSTRUCTION | | |
| CONT. | CONTINUOUS | R. | RISER |
| C.W. | COLD WATER | R.A. | RETURN AIR |
| | | R.D. | RADIUS |
| D.D. | DECK DRAIN | R.D. | ROOF DRAIN |
| DIA. | DIAMETER | REC.P. | RECEPTACLE |
| DIM. | DIMENSION | REF. | REFRIGERATOR |
| DN. | DOWN | REINF. | REINFORCED |
| D.S. | DOWN SPOUT | REQ'D. | REQUIRED |
| DTL. | DETAIL | REV. | REVISION |
| DWG. | DRAWING | R.F. | ROOF |
| | | R.H. | RIGHT HAND |
| EA. | EACH | R.M. | ROOM |
| E.F. | EXHAUST FAN | R.O. | ROUGH OPENING |
| E.J. | EXPANSION JOINT | R.S. | ROUGH SAWN |
| ELEC. | ELECTRIC | S.A. | SUPPLY AIR |
| ELEV. | ELEVATION | S.C. | SOLID CORE |
| EQ. | EQUAL | S.CO. | SEALED CONCRETE |
| EQUIP. | EQUIPMENT | S.D. | STORM DRAIN |
| E.W. | EACH WAY | S.F. | SQUARE FEET |
| EXIST., (E) | EXISTING | SHT. | SHEET |
| EXP. | EXPOSED | SHTG. | SHEATHING |
| EXT. | EXTERIOR | SHT. MTL. | SHEET METAL |
| | | SIM. | SIMILAR |
| F.C. | FINISH CEILING | S.S. | SELECT STRUCTURAL |
| F.D. | FLOOR DRAIN | S/S | STAINLESS STEEL |
| F.F. | FINISH FLOOR | STL. | STEEL |
| F.G. | FINISH GRADE | STR. | STRUCTURAL |
| F.IN. | FINISH | SUBFLR. | SUB-FLOOR |
| F.L. | FLOW LINE | SUSP. | SUSPENDED |
| FLR. | FLOOR | S.V. | SHEET VINYL |
| F.O.C. | FACE OF CONCRETE | T. | TREAD |
| F.O.M. | FACE OF MASONRY | T & B | TOP AND BOTTOM |
| F.O.S. | FACE OF STUD | T.C.B. | TOP OF CATCH BASIN |
| FP. | FIREPLACE | T & G | TONGUE AND GROOVE |
| F.P. | FINISH PAVING | THK. | THICK |
| FT. | FEET | T.O. | TOP OF |
| FTG. | FOOTING | T.O.C. | TOP OF CURB |
| | | T.O.PA. | TOP OF PAVING |
| G. | GAS | T.O.PL. | TOP OF PLATE |
| GA. | GUAGE | T.O.PLY. | TOP OF PLYWOOD |
| GALV. | GALVANIZE | T.O.S. | TOP OF SLAB |
| G.D. | GARBAGE DISPOSAL | T.O.SHTG. | TOP OF SHEATHING |
| G.I. | GALVANIZED IRON | T.O.P. | TOP OF PARAPET |
| GL. | GLASS | T.O.STL. | TOP OF STEEL |
| G.M. | GAS METER | T.O.W. | TOP OF WALL |
| GYP. | GYPSPUM | TYP. | TYPICAL |
| | | U.G. | UNDERGROUND |
| H.B. | HOSE BIBB | U.N.O. | UNLESS NOTED |
| H.C. | HOLLOW CORE | UNF. | OTHERWISE UNFINISHED |
| HD. | HEAD | V.T. | VINYL TILE |
| H.M. | HOLLOW METAL | W. | WATER |
| HT. | HEIGHT | W/. | WITH |
| H.V.A.C. | HEATING, VENTILATING & AIR CONDITIONING | W.C. | WATER CLOSET |
| | | WD. | WOOD |
| H.W. | HOT WATER | W.H. | WATER HEATER |
| | | W.L. | WROUGHT IRON |
| INS. | INSULATE | W/O | WITHOUT |
| INT. | INTERIOR | W.O. | WHERE OCCURS |
| | | W.P. | WATER PROOF |
| LAV. | LAVATORY | W.W.M. | WELDED WIRE MESH |
| LB. | POUND | YD. | YARD |
| L.H. | LEFT HAND | | |
| LT. | LIGHT | | |
| | | | |
| MATL. | MATERIAL | | |
| MAX. | MAXIMUM | | |
| M.B. | MACHINE BOLT | | |
| M/C | MEDICINE CABINET | | |
| M.C. | MINERAL CORE | | |
| MECH. | MECHANICAL | | |
| MFRG. | MANUFACTURER | | |
| M.H. | MAN HOLE | | |

GENERAL NOTES

- THESE DRAWINGS ARE INTENDED AS A BUILDERS SET AND DO NOT INCLUDE ALL DETAILS, SPECIFICATIONS, OR BIDDING INFORMATION. VERIFY W/ OWNER FOR ANY ADDITIONAL INFORMATION REQUIRED.
- NOTHING CONTAINED IN THESE CONSTRUCTION DOCUMENTS OR IN ANY ACCOMPANYING DOCUMENTS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE CONTRACTOR AND THE ARCHITECT (JAMES HEIMLER, ARCHITECT, INC.).
 - NOT USED.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER.
 - THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC., REQUIRED TO COMPLETE THE CONSTRUCTION AND/OR INSTALLATION OF ALL ITEMS UNLESS DESIGNATED NOT IN CONTRACT (N.I.C.).
 - WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT) ON THE DRAWINGS, SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. THE CONTRACTOR SHALL COORDINATE AND COOPERATE TO AFFECT SUCH INSTALLATION.
 - ALL WORK SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND BE IN CONFORMANCE W/ THE STANDARD OF THE INDUSTRY.
 - THE CONTRACTOR SHALL CONFORM IN ALL ASPECTS TO THE HEALTH AND SAFETY PROVISIONS OF O.S.H.A.
 - NOT USED.
 - ALL SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE SAME, NOTIFY THE ARCHITECT FOR CLARIFICATION.
 - SHOULD IT APPEAR THAT THE PROPOSED WORK IS NOT CLEARLY CALLED OUT, OR SUFFICIENTLY DETAILED OR EXPLAINED, OR IF THE CONTRACTOR HAS (IN HIS OPINION) A BETTER CONSTRUCTION TECHNIQUE, THE CONTRACTOR SHALL APPLY TO THE OWNER FOR CLARIFICATION OF THE ABOVE. IN NO CASE SHALL ANY WORK PROCEED IN UNCERTAINTY. ALL CLARIFICATIONS, APPROVALS AND INSTRUCTIONS SHALL BE ISSUED TO THE CONTRACTOR THROUGH THE OWNER.
 - THE CONTRACTOR SHALL: (1) REVIEW SPECIFIED CONSTRUCTION AND/OR INSTALLATION PROCEDURES (INCLUDING THOSE RECOMMENDED BY THE MANUFACTURERS); (2) ADVISE THE OWNER (A) IF THE SPECIFIED PROCEDURE DEVIATES FROM GOOD CONSTRUCTION PRACTICES, (B) FOLLOWING THE PROCEDURE WILL AFFECT ANY WARRANTIES, INCLUDING MANUFACTURER'S WARRANTIES AND THE CONTRACTOR'S GENERAL WARRANTY, OR (C) OF ANY OBJECTIONS THE CONTRACTOR MAY HAVE TO THE PROCEDURE; AND (3) PROPOSE ANY ALTERNATIVE INSTALLATION WHICH THE CONTRACTOR WILL WARRANT.
 - THE CONTRACTOR SHALL PROVIDE THE OWNER WITH 2% EXTRA MATERIALS FOR FUTURE REPAIRS ON THE FOLLOWING MATERIALS: PAINT.
 - IF MANUFACTURERS' SPECIFIED MODEL NUMBERS ARE DISCONTINUED, THE CONTRACTOR SHALL FURNISH THE UPDATED MODEL AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
 - THERE SHALL BE NO DEVIATIONS FROM THESE CONTRACT DOCUMENTS WITHOUT A WRITTEN CHANGE ORDER TO THE CONTRACT SIGNED BY THE CONTRACTOR AND OWNER IN THAT ORDER.
 - NO CHEMICAL INCOMPATIBILITY IN CONCRETE MIX SHALL BE PERMITTED.
 - ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
 - SEPARATE UNLIKE METALS OR ALLOYS WITH A HEAVY COATING OF BITUMINOUS PAINT OR OTHER SUITABLE PERMANENT SEPARATION AS REQUIRED TO PREVENT GALVANIC ACTION.
 - THE OWNER/CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS, FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK.
 - AT THE COMPLETION OF WORK THE PROJECT SITE (HARD SURFACES) SHALL BE LEFT BROOM CLEAN. ALL FINISHES (INCLUDING GLAZING) SHALL BE LEFT DUST AND SPOT FREE AND READY FOR FULL USE.
 - THE CONTRACTOR SHALL PROVIDE TO THE OWNER AT THE COMPLETION OF THE PROJECT ALL MANUFACTURER'S GUARANTEES, TECHNICAL AND MAINTENANCE DATA.
 - THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR (L.N.O.) FROM THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WHEN THE OWNER CAN USE THE PREMISES FOR THEIR INTENDED USE, WHICHEVER IS SOONER.
 - NOT USED.
 - REQUIRED TESTS AND INSPECTIONS NOT NOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE PAID FOR BY THE OWNER AND PERFORMED BY QUALIFIED INDEPENDENT CONSULTANTS SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE OWNER.

GENERAL INFORMATION

- ALL WORK SHALL BE DONE TO MEET TOP QUALITY WORKMANSHIP.
- COPIES OF ALL INSPECTION REPORTS, TESTS RESULTS, ETC. SHALL BE SENT TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN A PACKAGE OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, IN GOOD ORDER AND MARKED CURRENTLY TO RECORD CHANGES AND SELECTIONS MADE DURING CONSTRUCTION, AND IN ADDITION REVIEWED SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR REQUIRED SUBMITTALS. THESE SHALL BE AVAILABLE TO THE OWNER AT ALL TIMES AT THE SITE AND SHALL BE DELIVERED TO THE OWNER UPON COMPLETION OF THE WORK.
- NOT USED.
- THE CONTRACTOR SHALL PROTECT PORTIONS OF THE STRUCTURE IN WHICH WORK IS NOT TO BE PERFORMED WITH A TEMPORARY DUST-PROOF AND WATER PROOF BARRIER.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE FREE FROM AN ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS. ALL SPACES OUTSIDE OF THE CONSTRUCTION ZONE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
- THE OWNER AND ARCHITECT SHALL HAVE ACCESS TO THE WORK AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR STAGING REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: A. ALL PERSONS EMPLOYED FOR THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY. B. ALL EMPLOYEES OF THE OWNER WHO MIGHT BE AFFECTED THEREBY. C. ALL COMPLETED WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN WHICH IS IN THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR. D. ALL EXISTING CONSTRUCTION AND PROPERTY AT THE SITE OR ADJACENT THERETO. ANY DAMAGE REPAIRED/REPLACED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT AND TAKE FULL RESPONSIBILITY FOR ANY DAMAGE DONE TO THE BUILDING OR SITE THAT IS NOT PART OF THE CONTRACT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY UNDERGROUND OR CONCEALED CONDUIT, PLUMBING OR OTHER UTILITY LINES WHERE WORK IS BEING PERFORMED.
- NO TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND ARE ALLOWED UNLESS THE CONTRACTOR OBTAINS NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO ISSUANCE OF A BUILDING OR GRADING PERMIT.
- THE CONTRACTOR SHALL FURNISH ADEQUATE SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK AND SHALL BE FULLY RESPONSIBLE FOR THE SAME.
- ALL PRODUCTS SHALL BE USED, INSTALLED AND INCORPORATED INTO THE PROJECT AS PER MANUFACTURERS' WRITTEN INSTRUCTIONS.
- WHERE TWO OR MORE IDENTICAL ARTICLES, PIECES OF EQUIPMENT OR FINISHED ITEMS ARE REQUIRED, THEY SHALL BE OF THE SAME MANUFACTURER.
- THE CONTRACTOR SHALL ARRANGE AND PROVIDE FOR ALL INSPECTIONS REQUIRED BY THE GOVERNING AGENCIES.
- NOT USED
- SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, MECHANICAL AND PLUMBING.

SHEET INDEX

| NO. SHEET NO. | DESCRIPTION |
|----------------------|----------------------------------|
| GENERAL | |
| 1 | T-1.1 TITLE SHEET |
| 2 | T-1.2 PARKING SPACE REQUIREMENTS |
| ARCHITECTURAL | |
| 1 | A-1.01 SITE PLAN DEMOLITION |
| 2 | A-1.1 SITE PLAN |
| 3 | A-1.02 PARKING DEMOLITION PLAN |
| 4 | A-1.2 PARKING PLAN |
| 5 | A-1.3 BIKE PARKING PLANS |
| 6 | A-1.4 LUNCH SHELTER PLAN |

SYMBOLS

| | | | |
|--|-----------------------|--|---------------------------------|
| | ELEVATION | | ACOUSTICAL TILE |
| | SHEET WHERE DRAWN | | BRICK WALL |
| | DETAIL NUMBER | | REINF. BRICK WALL |
| | SHEET WHERE DRAWN | | CONCRETE |
| | DOOR NUMBER | | EARTH |
| | WINDOW NUMBER | | THERMAL INSULATION |
| | INT. ELEV. NO. | | PLASTER FINISH |
| | SHEET WHERE DRAWN | | STEEL |
| | RM. OR SPACE NO. | | WOOD FINISH |
| | REVISION NO. ON SHEET | | PLYWOOD |
| | KEY NOTE NO. ON SHEET | | EXISTING WALL TO BE REMOVED |
| | | | EXISTING CONSTRUCTION |
| | | | NEW WORK |
| | | | CONTRACTOR'S ACCESS |
| | | | CONTRACTOR'S SECURITY BARRICADE |
| | | | EXISTING ITEM TO BE REMOVED |

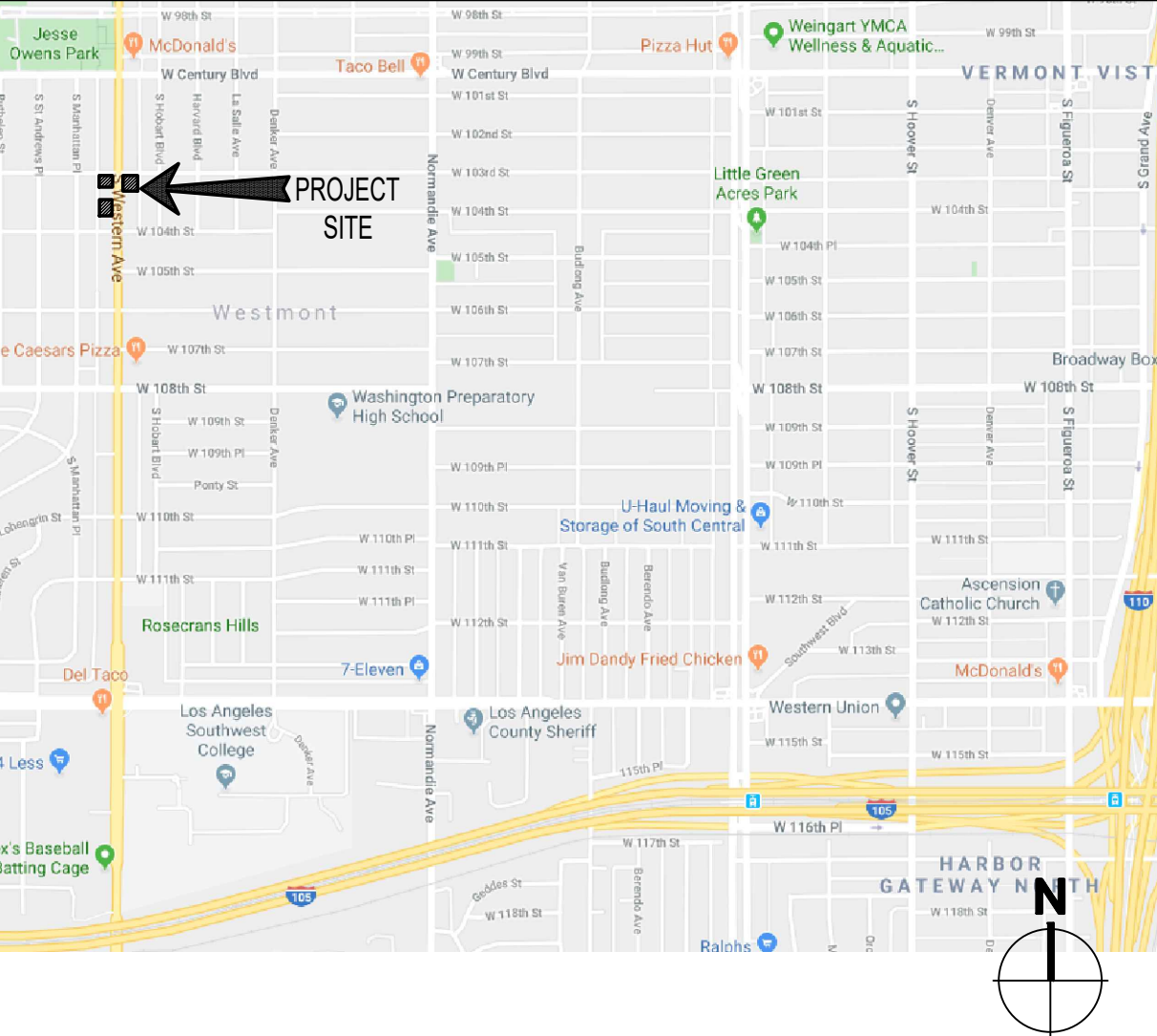
REFERENCE LIST

| CLIENT: | NAME | ADDRESS | TELEPHONE |
|---------------|--------------------------------------|---|--------------|
| | MATHEW BROWN TEACH PUBLIC SCHOOLS | 10000 S. WESTERN AVE. LOS ANGELES, CA 90047 | 323-872-0808 |
| ARCHITECT: | JAMES HEIMLER, ARCHITECT, INC. | 19510 VENTURA BLVD. SUITE 210 TARZANA, CA 91356 | 818-343-5393 |
| MANUFACTURER: | EIDE INDUSTRIES, INC. | 16215 PILMA AVE. CERRITOS, CA 90703 | 562-965-3305 |

SCOPE OF WORK

- AT 10001 S. WESTERN AVE., EXISTING PARKING PROVIDES 45 STALLS PARKING, INCLUDING ADA REQUIRED PARKING - 49 PARKING ALLOWED PER PERMIT.
- 10001 S. WESTERN AVE., EXISTING PARKING WILL COVER MOST OF THE NEEDS OF PARKING FOR 10000 S. WESTERN AVE AND 10045 S. WESTERN AVE. THE REMAINING PARKING WILL BE COVER AS INDICATED BELOW.
- AT 10000 S. WESTERN AVE. PUBLIC SIDEWALK, PROVIDE 28 BIKE PARKING.
- AT 10045 S. WESTERN AVE. PUBLIC SIDEWALK, PROVIDE/ADD 2 BIKE PARKING
- AT 10045 S. WESTERN AVE. REMOVE (3) EXISTING SHADE SHELTERS.
- NEW SHADE STRUCTURE - DEFERRED APPROVAL.

VICINITY MAP



ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE



As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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Vehicle spaces. Car and van parking spaces shall be 216 inches (18 feet) long minimum. Car parking spaces shall be 108 inches (9 feet) wide minimum and van parking spaces shall be 144 inches (12 feet) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with Section 11B-502.3.

Exception: Van parking spaces shall be permitted to be 108 inches (9 feet) wide minimum where the access aisle is 96 inches (8 feet) wide minimum.

Access aisle. Access aisles serving parking spaces shall comply with Section 11B-502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle.

Width. Access aisles serving car and van parking spaces shall be 60 inches (5 feet) wide minimum.

Length. Access aisles shall extend the full required length of the parking spaces they serve.

Marking. Access aisles shall be marked with a blue painted borderlines around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (3 feet) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (1 foot) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length.

Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

Floor or ground surfaces. Parking spaces and access aisles serving them shall comply with Section 11B-302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

Exception: Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum.

Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.7.2.1. Signs identifying van parking spaces shall contain additional language or an additional sign with the designation "van accessible". Signs shall be 60 inches (5 feet) minimum above the finish floor or ground surface measured to the bottom of the sign.

Exception: Signs located within an accessible route shall be a minimum of 80 inches (6 feet, 8 inches) above the finish floor or ground surface measured to the bottom of the sign.

Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches.

Minimum fine. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$250."

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ACCESSIBILITY DETAILS FOR PARKING

WHERE ACCESSIBLE PARKING IS REQUIRED. Where parking spaces are provided, parking spaces shall be provided in accordance with Section 11B-208.

Exception: Parking spaces used exclusively for buses, trucks, other delivery vehicles, or vehicular impound shall not be required to comply with Section 11B-208 provided that lots accessed by the public are provided with a passenger drop-off and loading zone complying with Section 11B-503.

Minimum number. Parking spaces complying with Section 11B-502 shall be provided in accordance with Table 11B-208.2 except as required by Sections 11B-208.2.1, 11B-208.2.2, and 11B-208.2.3. Where more than one parking facility is provided on a site, the number of accessible spaces provided on the site shall be calculated according to the number of spaces required for each parking facility.

Hospital and outpatient facilities. Ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities, and free-standing buildings providing outpatient clinical services of a hospital, shall comply with Section 11B-502.

Rehabilitation facilities and outpatient physical therapy facilities. Twenty percent of patient and visitor parking spaces provided to serve rehabilitation facilities specializing in treating conditions that affect mobility and outpatient physical therapy facilities shall comply with Section 11B-502.

Residential facilities. Parking spaces provided to serve residential facilities shall comply with Section 11B-208.2.3.

Parking for guests, employees, and other non-residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 11B-208.2.

Requests for accessible parking spaces. When assigned parking is provided, designated accessible parking for the adaptable residential dwelling units shall be provided on requests of residents with disabilities on the same terms and with the full range of choices (e.g., off-street parking, carport or garage) that are available to other residents.

Van parking spaces. For every six or fraction of six parking spaces required by Section 11B-208.2 to comply with Section 11B-502, at least one shall be a van parking space complying with Section 11B-502.

Location. Parking facilities shall comply with Section 11B-208.3.

General. Parking spaces complying with Section 11B-502 that serve a particular building or facility shall be located on the shortest accessible route from parking to an accessible entrance complying with Section 11B-206.4. Where parking serves more than one accessible entrance, parking spaces complying with Section 11B-502 shall be dispersed and located on the shortest accessible route to the accessible entrances. In parking facilities that do not serve a particular building or facility, parking spaces complying with Section 11B-502 shall be located on the shortest accessible route to an accessible pedestrian entrance of the parking facility.

Exceptions:
1. All van parking spaces shall be permitted to be grouped on one level within a multi-story parking facility.
2. Parking spaces shall be permitted to be located in different parking facilities if substantially equivalent or greater accessibility is provided in terms of distance from an accessible entrance or entrances, parking fee, and user convenience.

| TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY | MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES |
|---|---|
| 1 to 25 | 1 |
| 26 to 50 | 2 |
| 51 to 75 | 3 |
| 76 to 100 | 4 |
| 101 to 150 | 5 |
| 151 to 200 | 6 |
| 201 to 300 | 7 |
| 301 to 400 | 8 |
| 401 to 500 | 9 |
| 501 to 1000 | 2 percent of total |
| 1001 and over | 20, plus 1 for each 100, or fraction thereof, over 1000 |

TABLE 11B-208.2 PARKING SPACES

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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NOTES

- WHERE PARKING SPACES ARE PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN NUMBER AND KIND REQUIRED PER CBC 2019 SECTION 11B-208 PARKING SPACES. §11B-208.1
- PROVIDE 2 ACCESSIBLE PARKING SPACES AS REQUIRED BY TABLE 11B-208.2. §11B-208.2 (SEE EXCEPTIONS)
- PROVIDE ACCESSIBLE SPACES FOR EACH PARKING FACILITY (PARKING LOTS AND PARKING STRUCTURES). THE NUMBER OF PARKING SPACES REQUIRED TO BE ACCESSIBLE IS TO BE CALCULATED SEPARATELY FOR EACH PARKING FACILITY; THE REQUIRED NUMBER IS NOT BASED ON THE TOTAL NUMBER OF PARKING SPACES PROVIDED IN ALL OF THE PARKING FACILITIES PROVIDED ON SITE. §11B-208
- ONE IN EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY SECTION 11B-208.2 MINIMUM NUMBER, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS ISLE 96 INCHES WIDE MINIMUM PLACED ON THE SIDE OPPOSITE THE DRIVER'S SIDE WHEN THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE AND SHALL BE DESIGNATED "VAN ACCESSIBLE". ALL SUCH SPACES MAY BE GROUPED ON ONE LEVEL OF A PARKING STRUCTURE. §11B-208.2.4, 11B-502, FIG. 11B-502, 11B-502.3, & 11B-502.3.3
- ACCESSIBLE PARKING SPACES COMPLYING WITH SECTION 11B-502 PARKING SPACES SERVING A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE (AS NEAR AS PRACTICAL TO AN ACCESSIBLE ENTRANCE) §11B-208.3.1
- DIMENSION MINIMUM 18 FOOT LONG CAR AND VAN ACCESSIBLE PARKING SPACE(S) AND ACCESS ISLE(S) §11B-502.2, FIGURES 11B-502.2, AND 11B-502.3
- DIMENSION MINIMUM 9 FOOT WIDTH AT ACCESSIBLE CAR PARKING SPACE. §11B-502.2, FIGURES 11B-502.2, AND 11B-502.3
- DIMENSION MINIMUM 12 FOOT WIDE ACCESSIBLE VAN PARKING SPACE WITH MINIMUM 5 FOOT WIDE ACCESS ISLE VAN PARKING SPACES SHALL BE PERMITTED TO BE MINIMUM 9 FEET WIDE WHERE ACCESS ISLE IS 8 FOOT WIDE MINIMUM. §11B-502.2, FIGURES 11B-502.2, AND 11B-502.3
- CAR AND VAN STALL ACCESS ISLE SHALL BE 5 FOOT WIDE MINIMUM AND SHALL ADJOIN AN ACCESSIBLE ROUTE TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS ISLE. §11B-502.3, FIGURES 11B-502.2, AND 11B-502.3
- ACCESS ISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE ISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS ISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS ISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH. §11B-502.3.3, FIGURE 11B-502.3
- ACCESS ISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS ISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR VAN PARKING SPACES WHICH SHALL HAVE ACCESS ISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE. §11B-502.3.4
- PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY. §11B-502.6, FIGURE 11B-703.7.2.1
- SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. §11B-502.6
- PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES. §11B-502.6.1
- ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250". §11B-502.6.2
- A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. §11B-502.6.3
- EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE A SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES: §11B-502.6.4
A. THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTIONS 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE LENGTH. §11B-502.6.4.1
B. THE PARKING SPACE SHALL BE OULINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE LENGTH. §11B-502.6.4.2
C. THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. §11B-502.8.1
D. THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING: §11B-502.8.2 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHED PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: _____ OR BY TELEPHONING _____." BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.

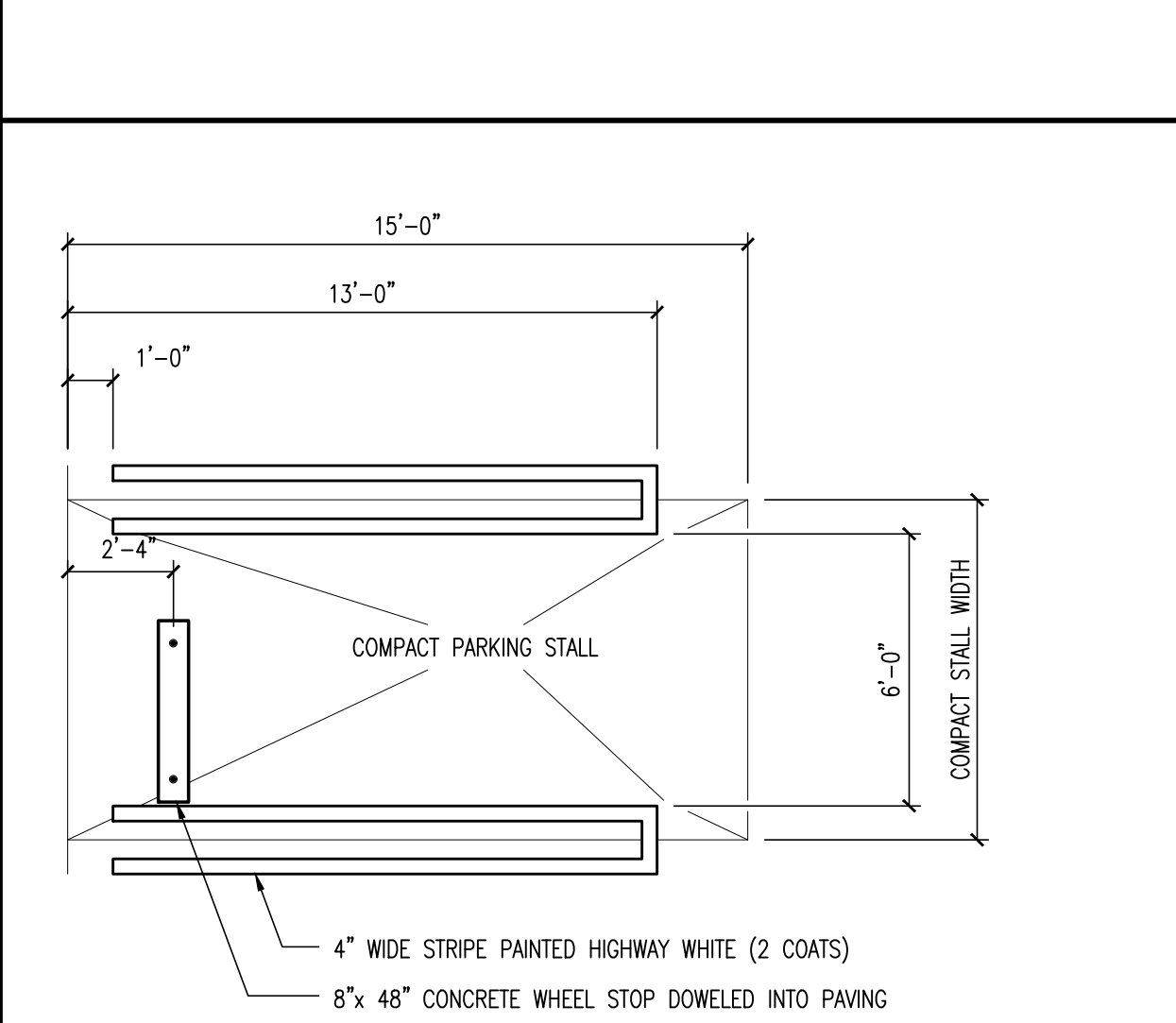
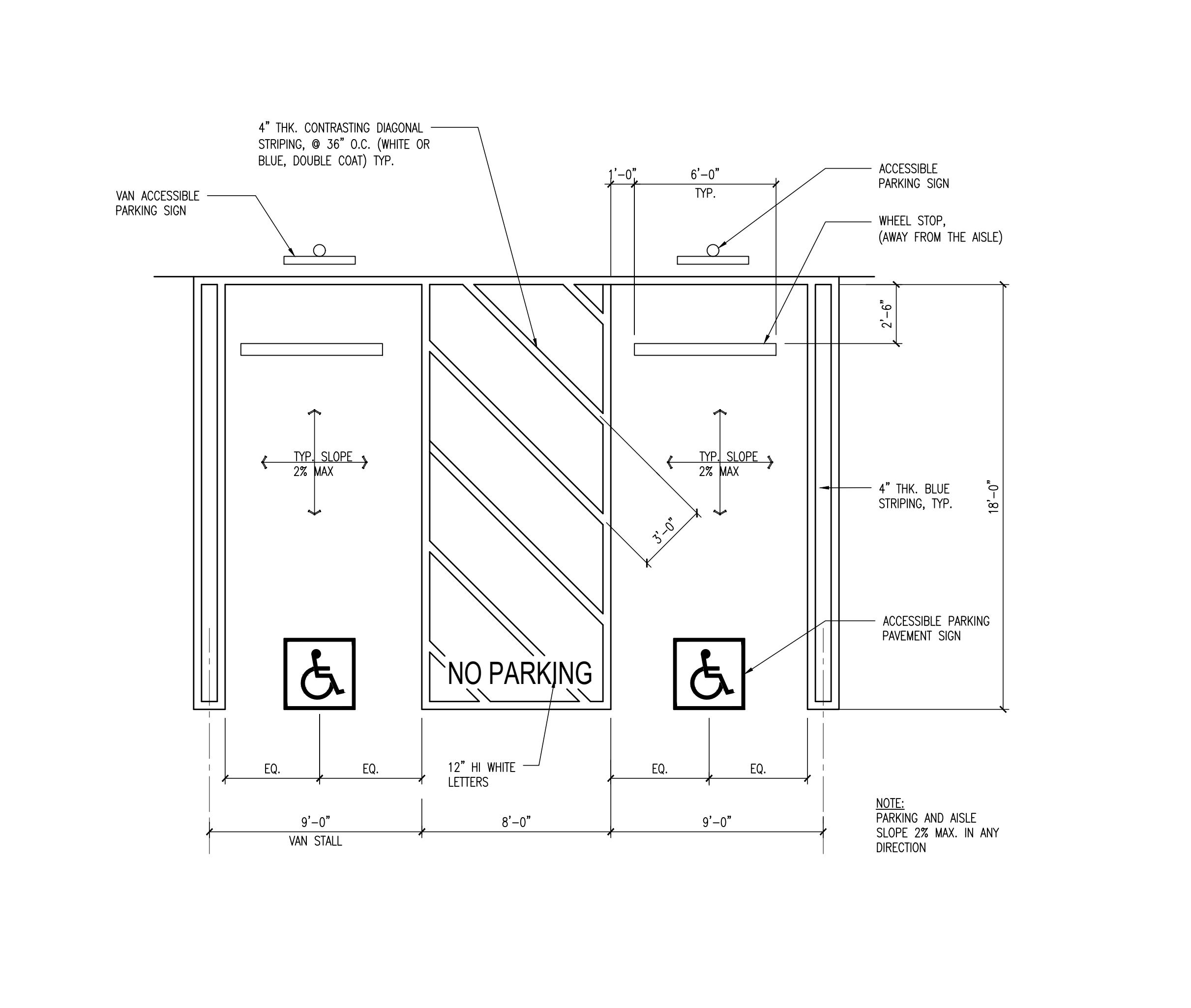
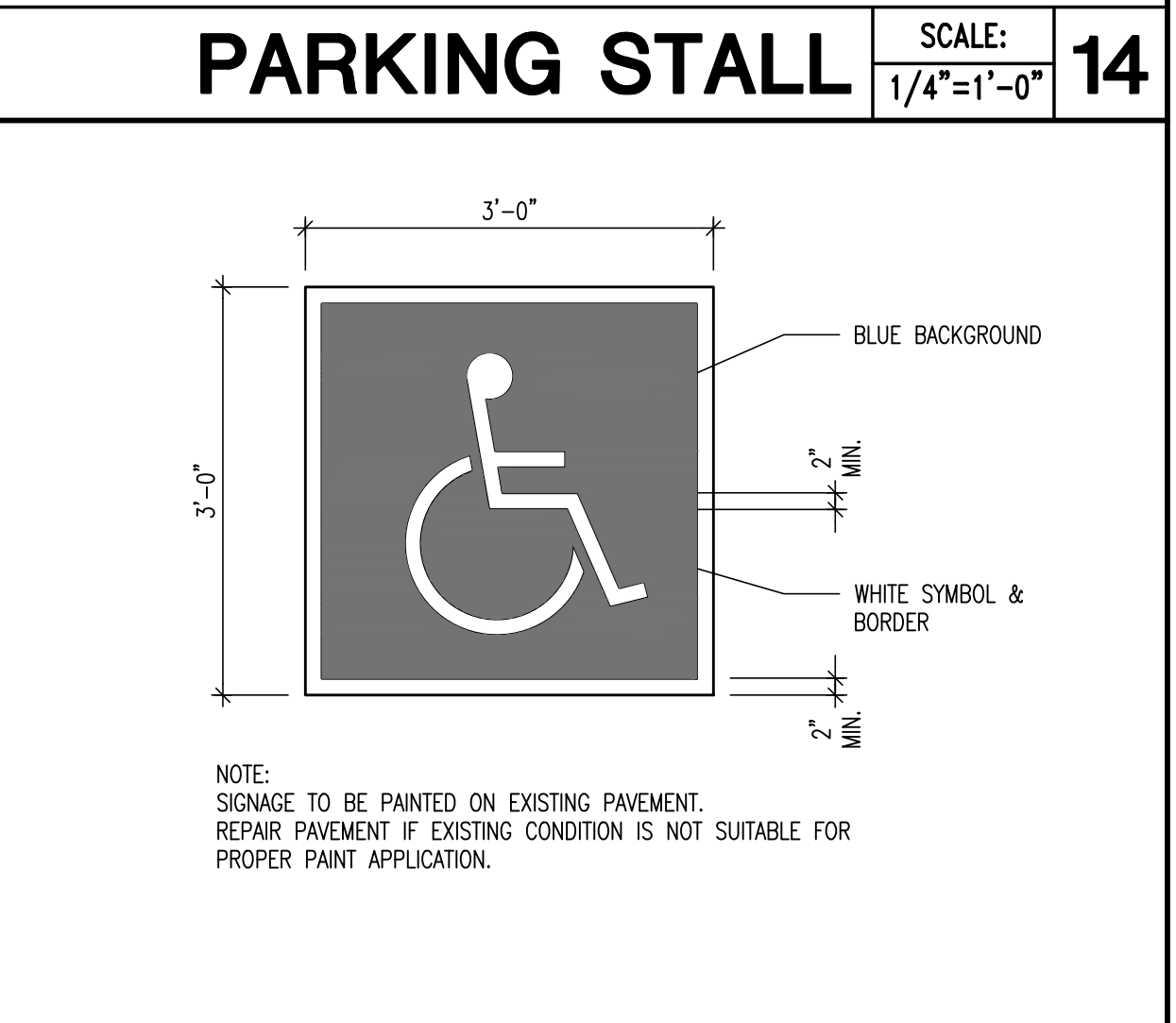
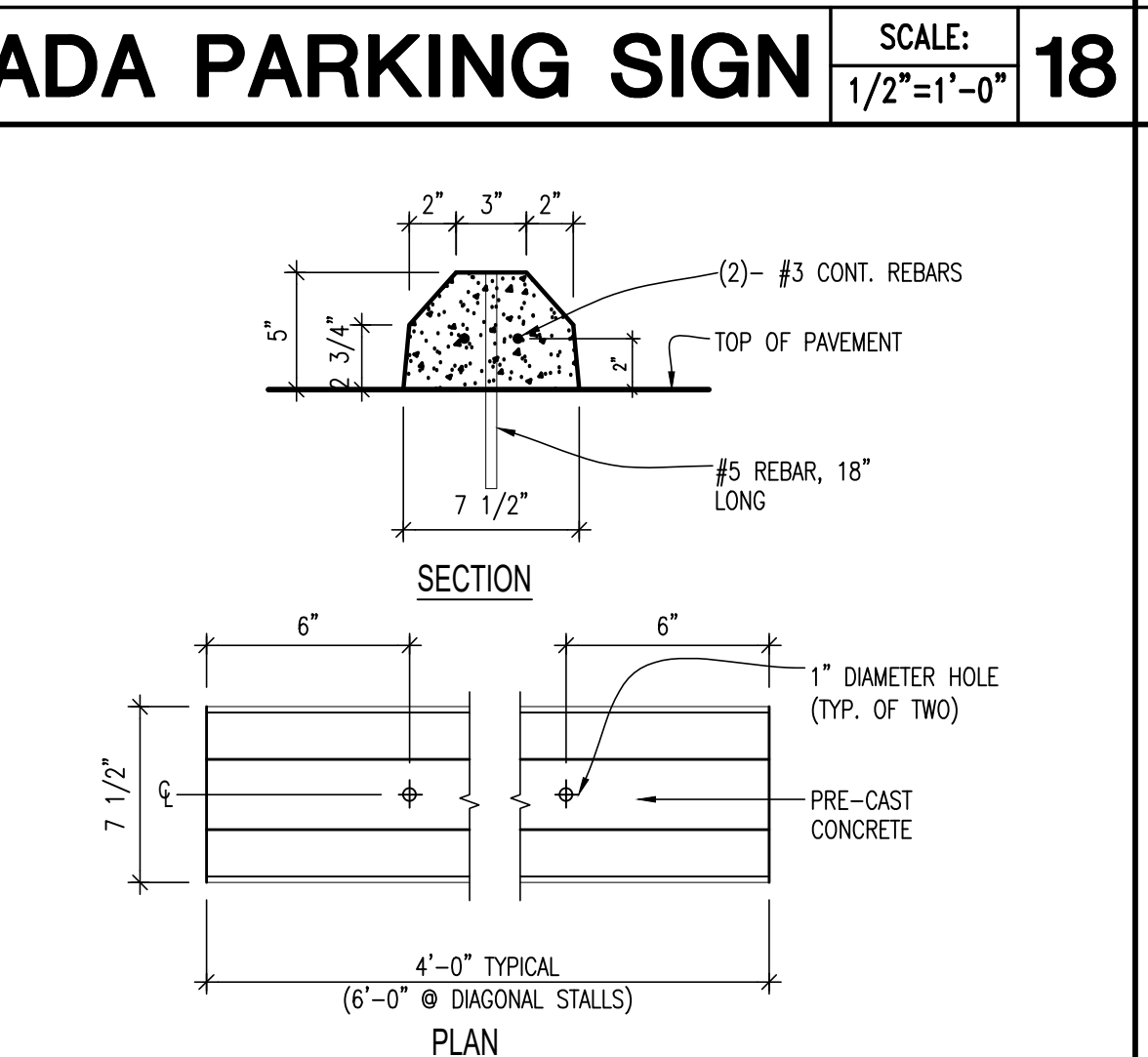
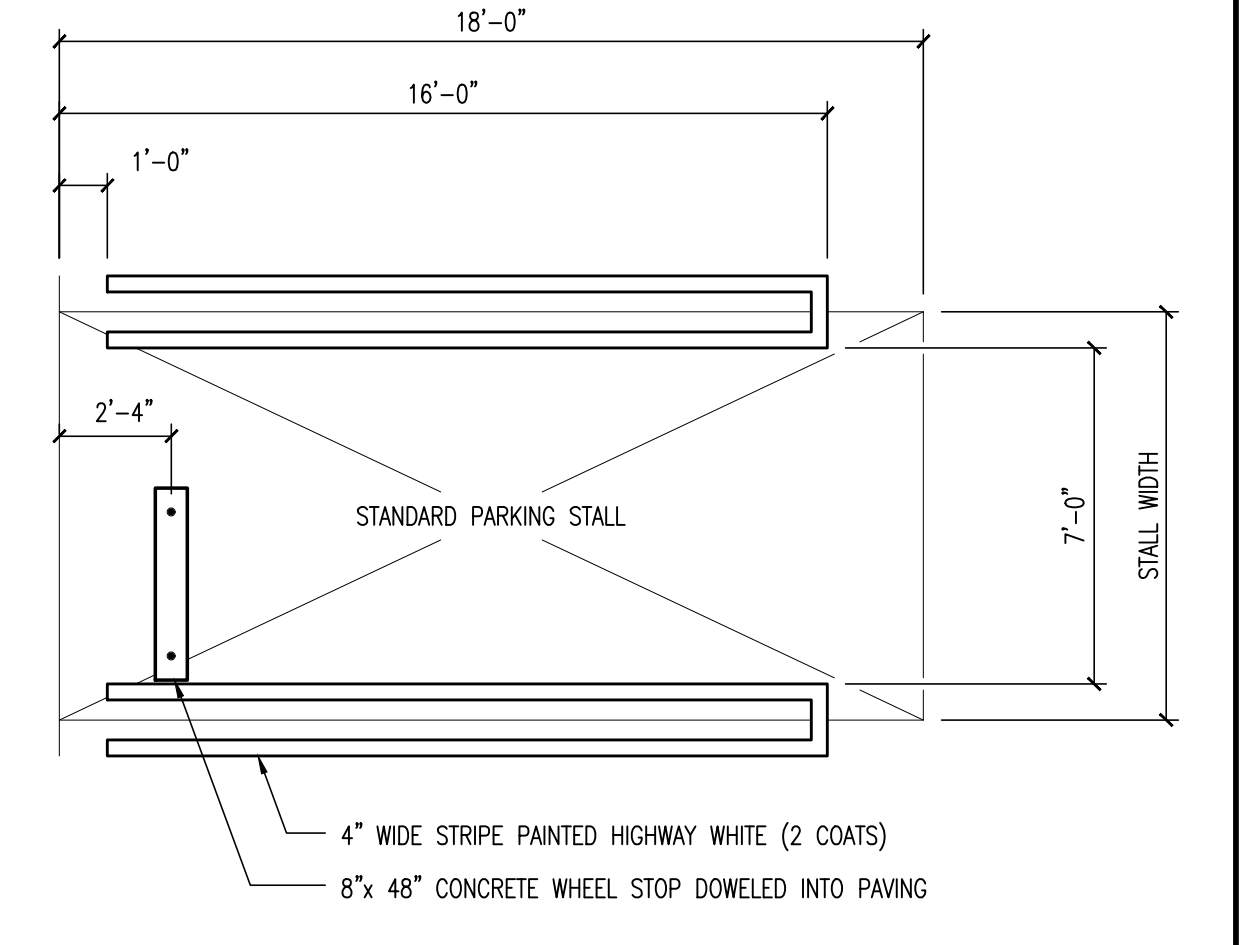
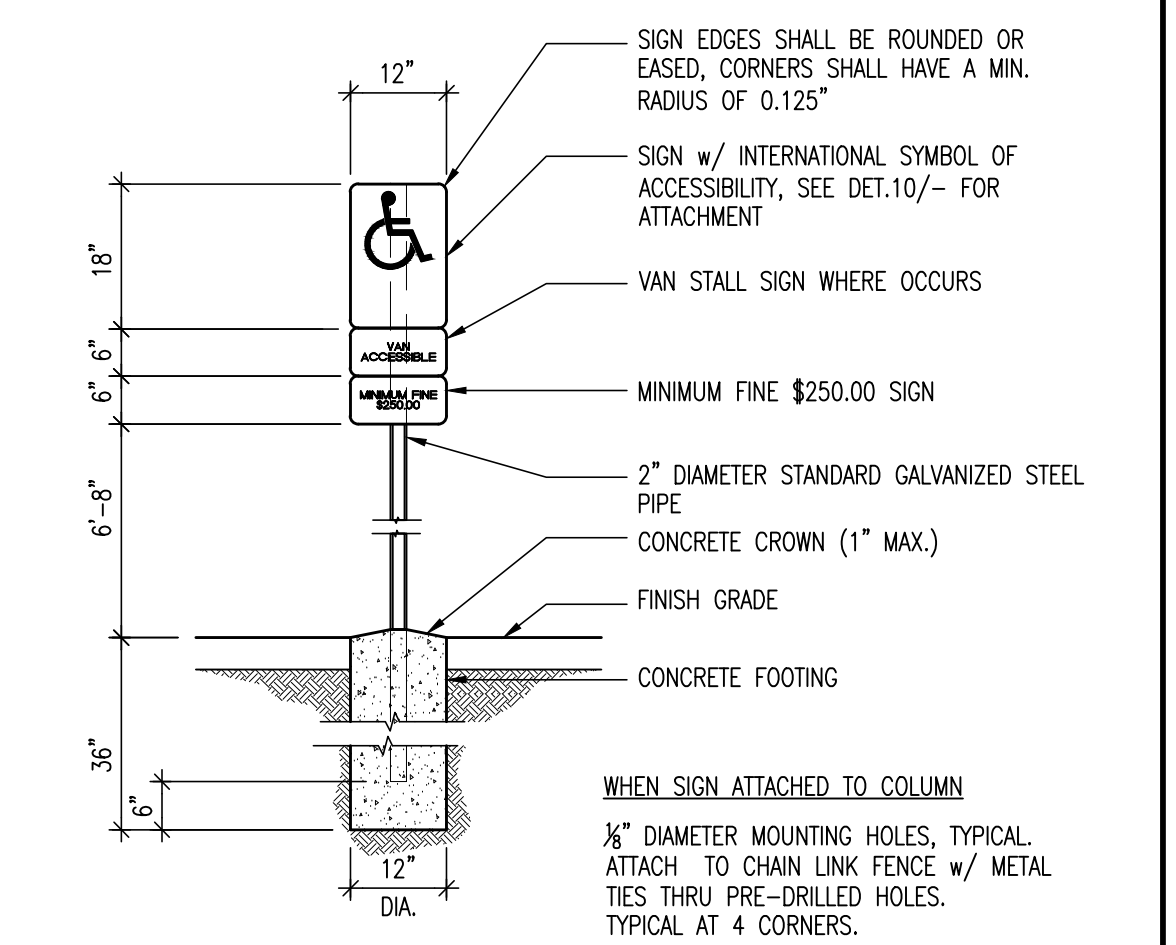
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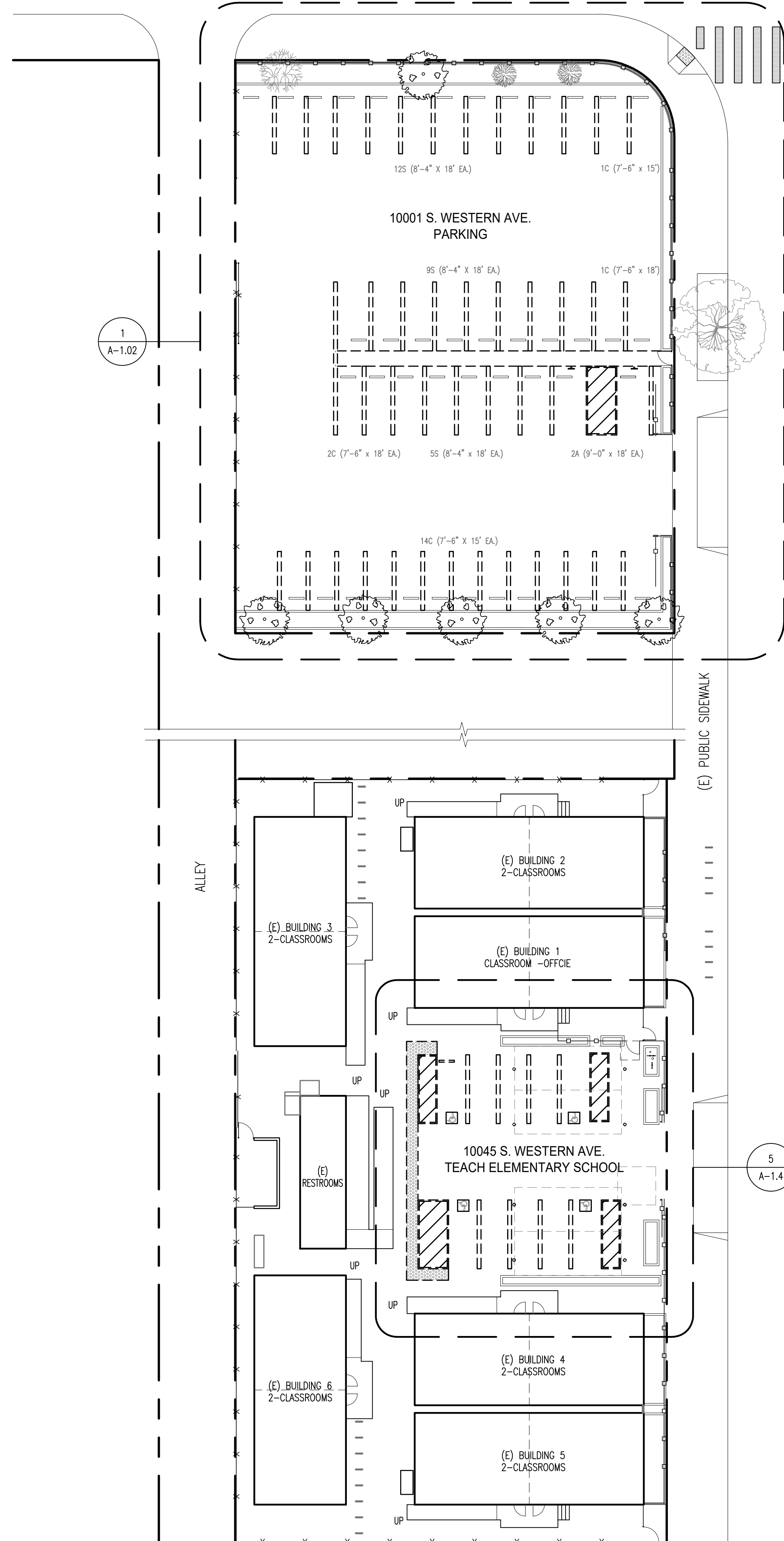
TEACH PARKING & SHADE STRUCTURE REQUIREMENTS
10045 S. WESTERN AVE., LOS ANGELES, CA

PARKING SPACE REQUIREMENTS

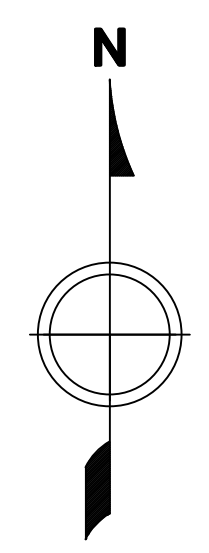
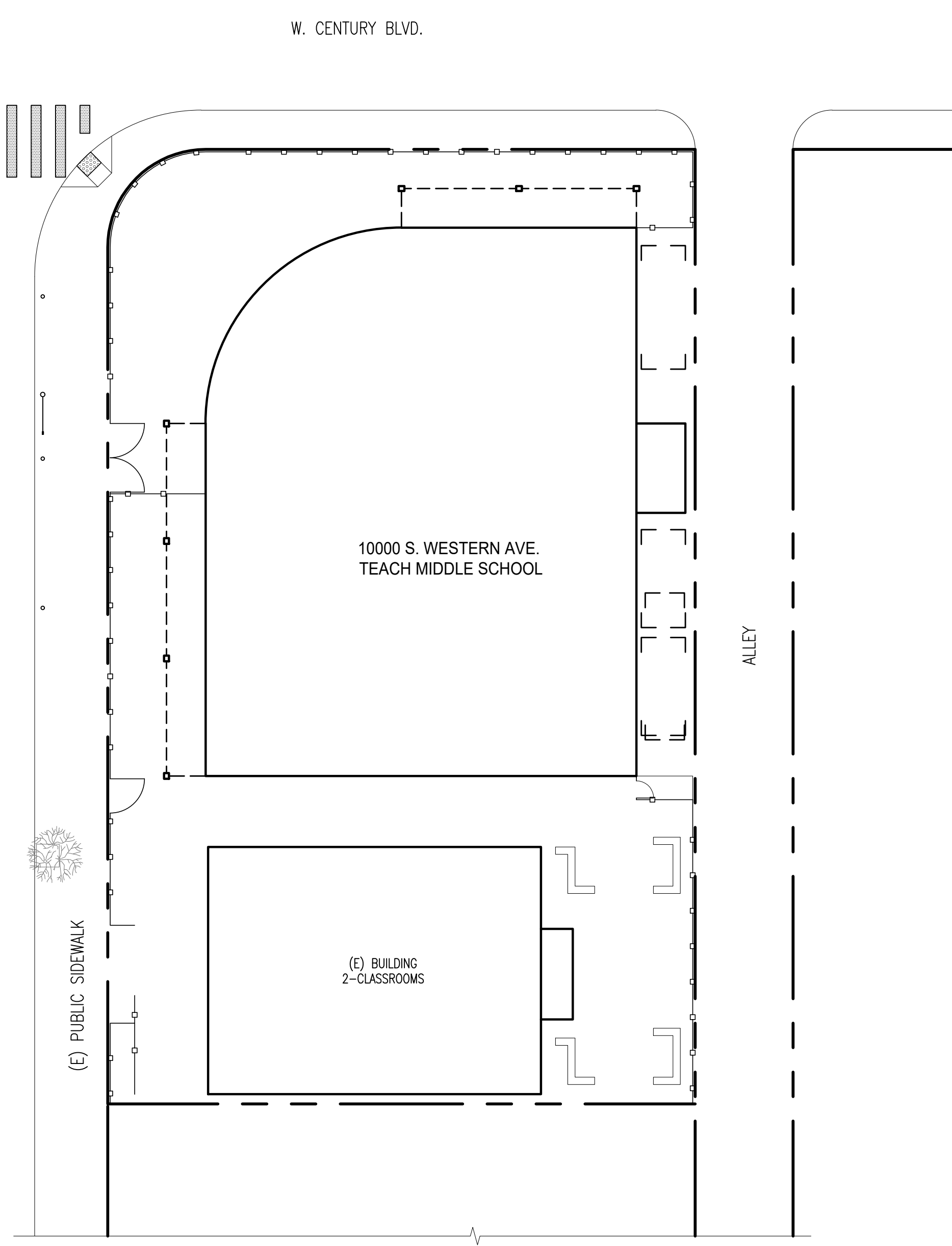
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EXPIRES 09-30-22

Sheet: **T-12**
2 of 8 shts.





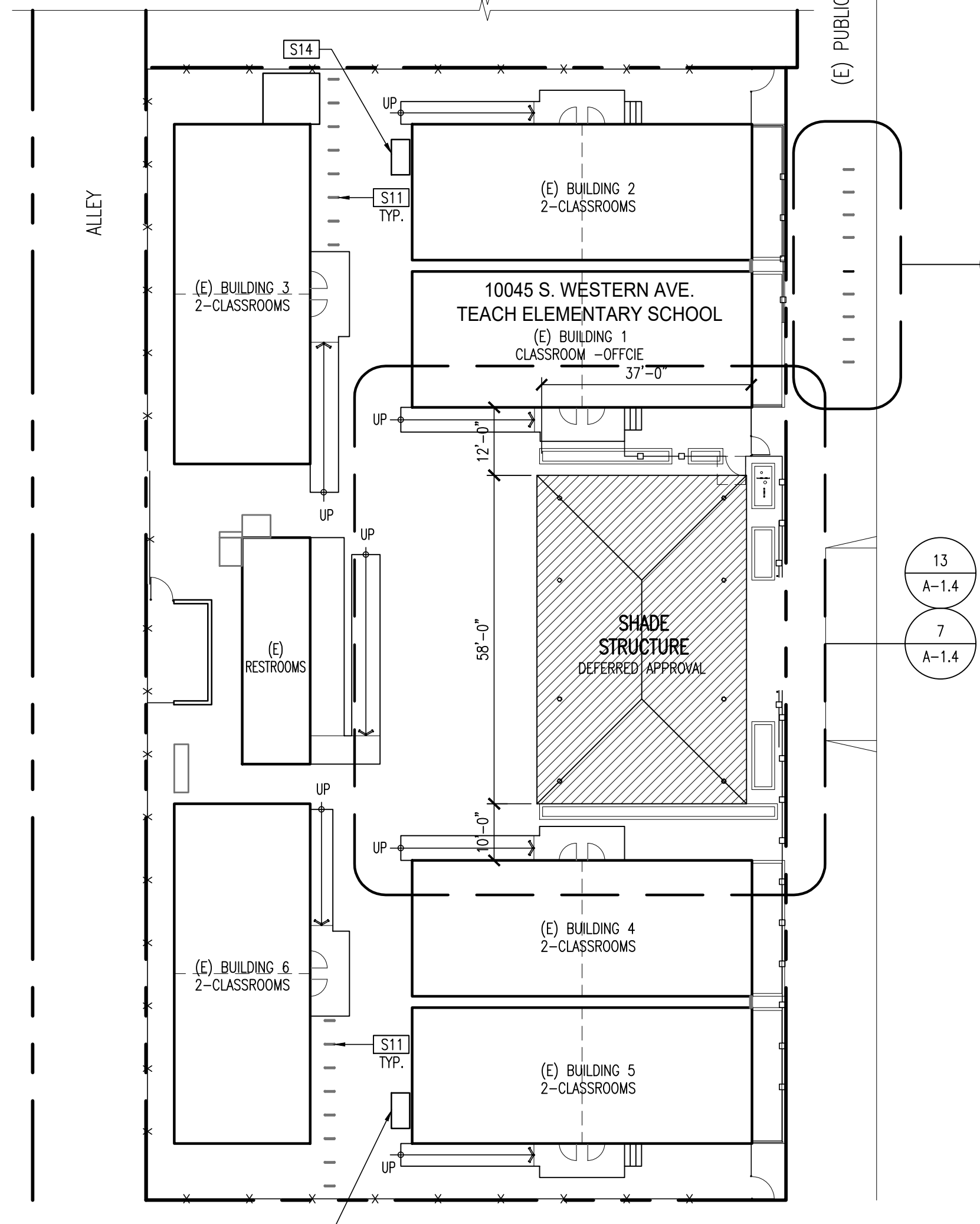
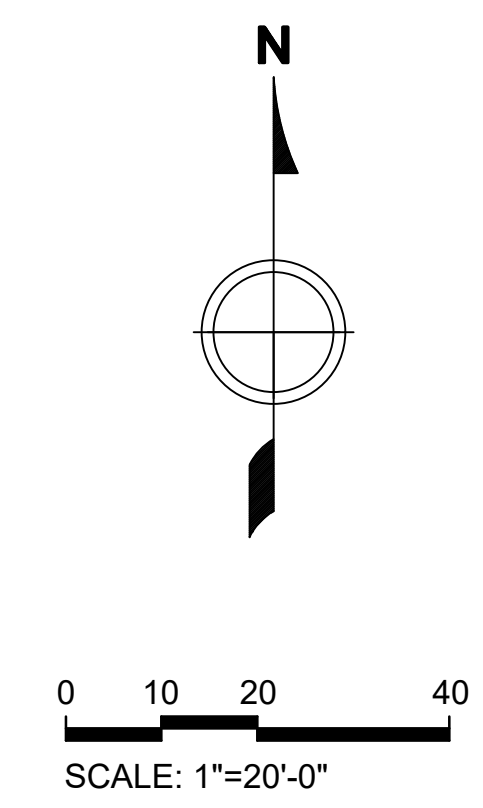
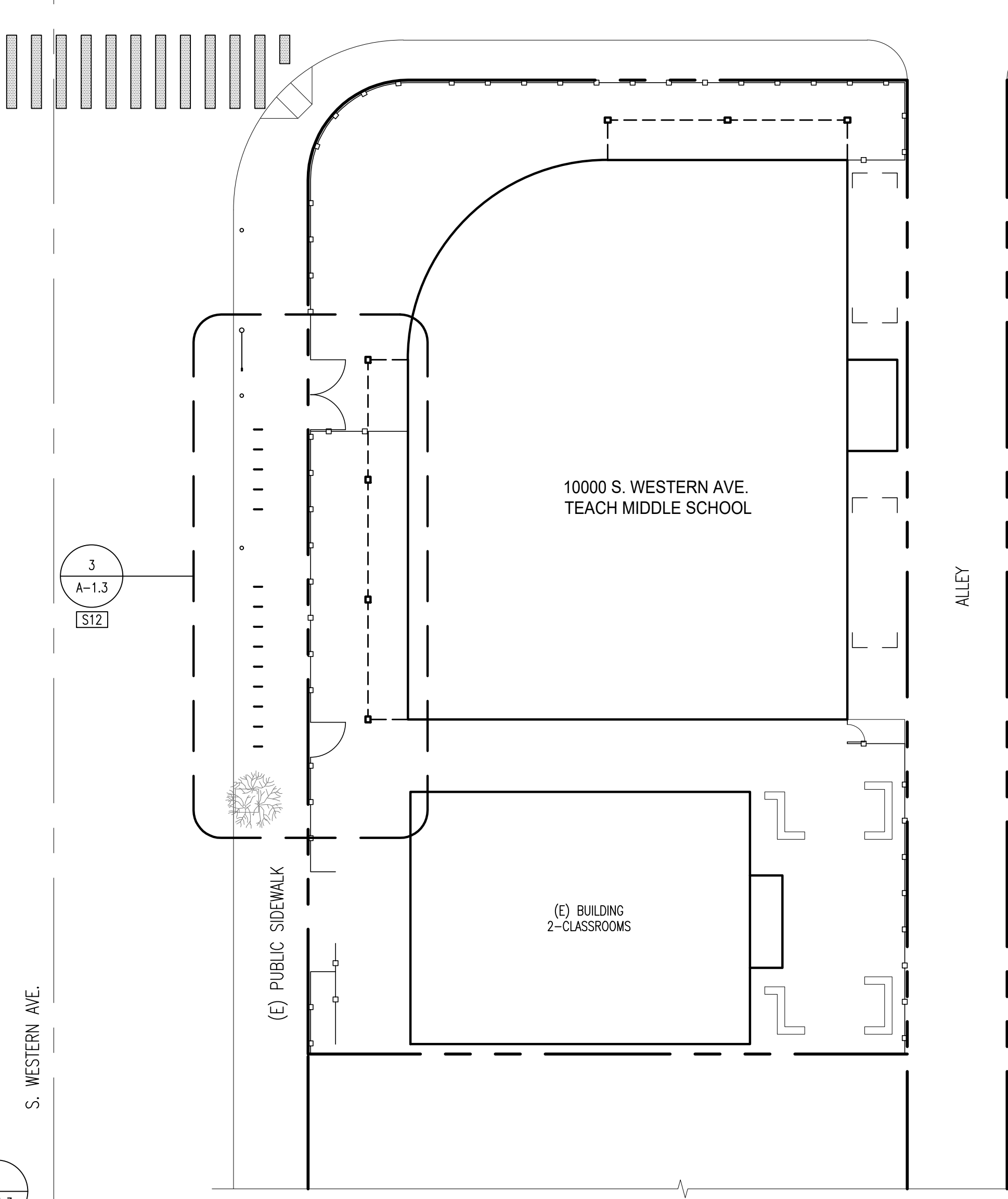
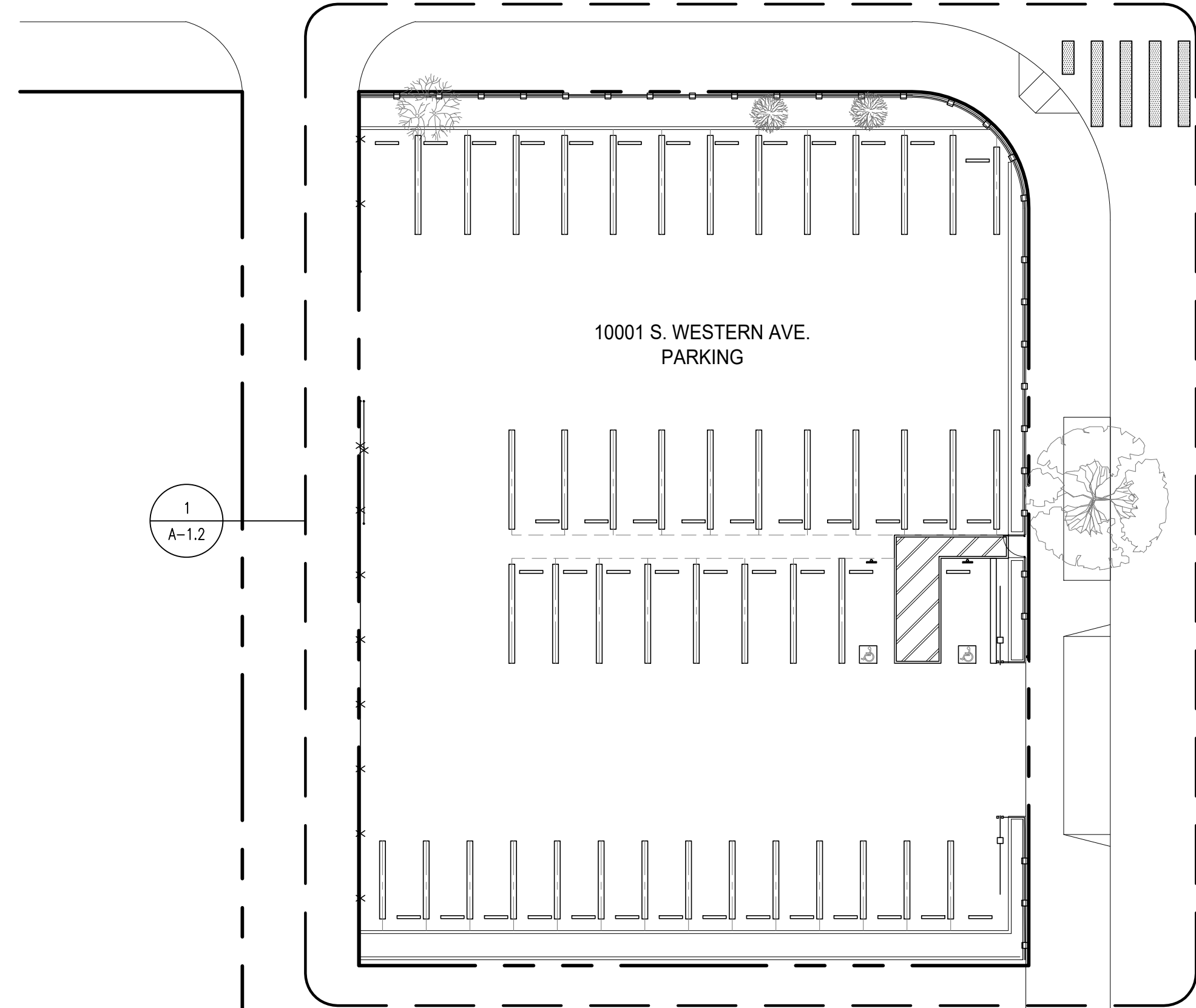
S. WESTERN AVE.



0 10 20 40
SCALE: 1"=20'-0"

- DEMOLITION PLAN NOTES**
- D01 PROCEED WITH DEMOLITION IN SYSTEMATIC MANNER, FROM TOP OF STRUCTURE TO GROUND. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING SUPPORTING MEMBERS ON LOWER LEVEL.
 - D02 CONTRACTOR TO PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN AS NEEDED TO ACCOMMODATE NEW WORK.
 - D03 PRIOR TO DEMOLITION, CONTRACTOR SHALL VERIFY THAT ALL STRUCTURAL COMPONENTS TO BE REMOVED ARE NOT NEEDED TO COMPLETE NEW WORK OR HAVE REPLACEMENT STRUCTURAL COMPONENTS CALLED FOR IN THE CONSTRUCTION DOCUMENTS. NO STRUCTURAL COMPONENT SHALL BE REMOVED IN UNCERTAINTY.
 - D04 SALVAGED MATERIALS:
GENERAL: REMOVE CAREFULLY TO AVOID DAMAGES. MATERIALS FOR REUSE ON THIS PROJECT (IF ANY) ARE TO BE INCORPORATED INTO NEW WORK AS INDICATED. EXCEPT FOR ITEMS INDICATED TO BE RETAINED AS OWNER'S PROPERTY, OTHER REMOVED AND SALVAGED MATERIALS NOT INDICATED FOR REUSE SHALL BECOME CONTRACTOR'S PROPERTY AND REMOVED FROM SITE WITH FURTHER DISPOSITION AT CONTRACTOR'S OPTION.
 - D05 STORE ITEMS INDICATED TO BE RETAINED AS OWNER'S PROPERTY PER OWNER'S REQUEST.
 - D07 GENERAL: REMOVE FROM SITE ACCUMULATED DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND LEGALLY DISPOSE OF OFF SITE.
 - D08 CONTRACTOR SHALL PROTECT EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS FROM DAMAGE.
 - D09 CONTRACTOR TO PROTECT ALL REMAINING AREAS OF STRUCTURE FROM CONSTRUCTION AND WEATHER DAMAGE.
 - D11 CAP BELOW FINISH SURFACE ALL WATER, WASTE AND OTHER UTILITY LINES NOT UTILIZED IN NEW WORK.
 - D12 CAP ALL ELECTRICAL WIRES NOT UTILIZED IN NEW WORK.
 - D22 REMOVE SUB-FLOOR AS REQUIRED FOR ACCESS OF NEW FOUNDATION WORK.
 - D23 REMOVE ANY SUB-FLOOR IN DETERIORATED CONDITION.
 - D24 REMOVE PORTIONS OF FOUNDATION AS REQUIRED FOR NEW CONSTRUCTION.
 - D27 REVIEW ALL LANDSCAPE TRIMMING AND OR REMOVAL PRIOR TO START OF DEMOLITION WITH OWNER.
 - D28 REMOVED UTILITY LINE SHALL BE TOTALLY REMOVED OR CAPPED OFF TOTALLY WITH IN FRAMED CONSTRUCTION.

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| Job No. | 2019-9060 |
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| DATE | 02-20-2020 |
| REV. DESCRIPTION | BUILDING DEPARTMENT SUBMITTAL |
| <p>JAMES HEIMLER, ARCHITECT, INC. 19510 VENTURA BLVD., SUITE 210 (818) 343-5393 TARZANA, CALIFORNIA 91356 FAX (818) 343-5815 www.jhai-architect.com jheimler@jhai-architect.com</p> | |
| <p>TEACH PARKING & SHADE STRUCTURE 10045 S. WESTERN AVE., LOS ANGELES, CA</p> | |
| <p>SITE PLAN DEMOLITION</p> | |
| <p>Sheet: A-101 3 of 8 sheets.</p> | |



SITE PLAN NOTES

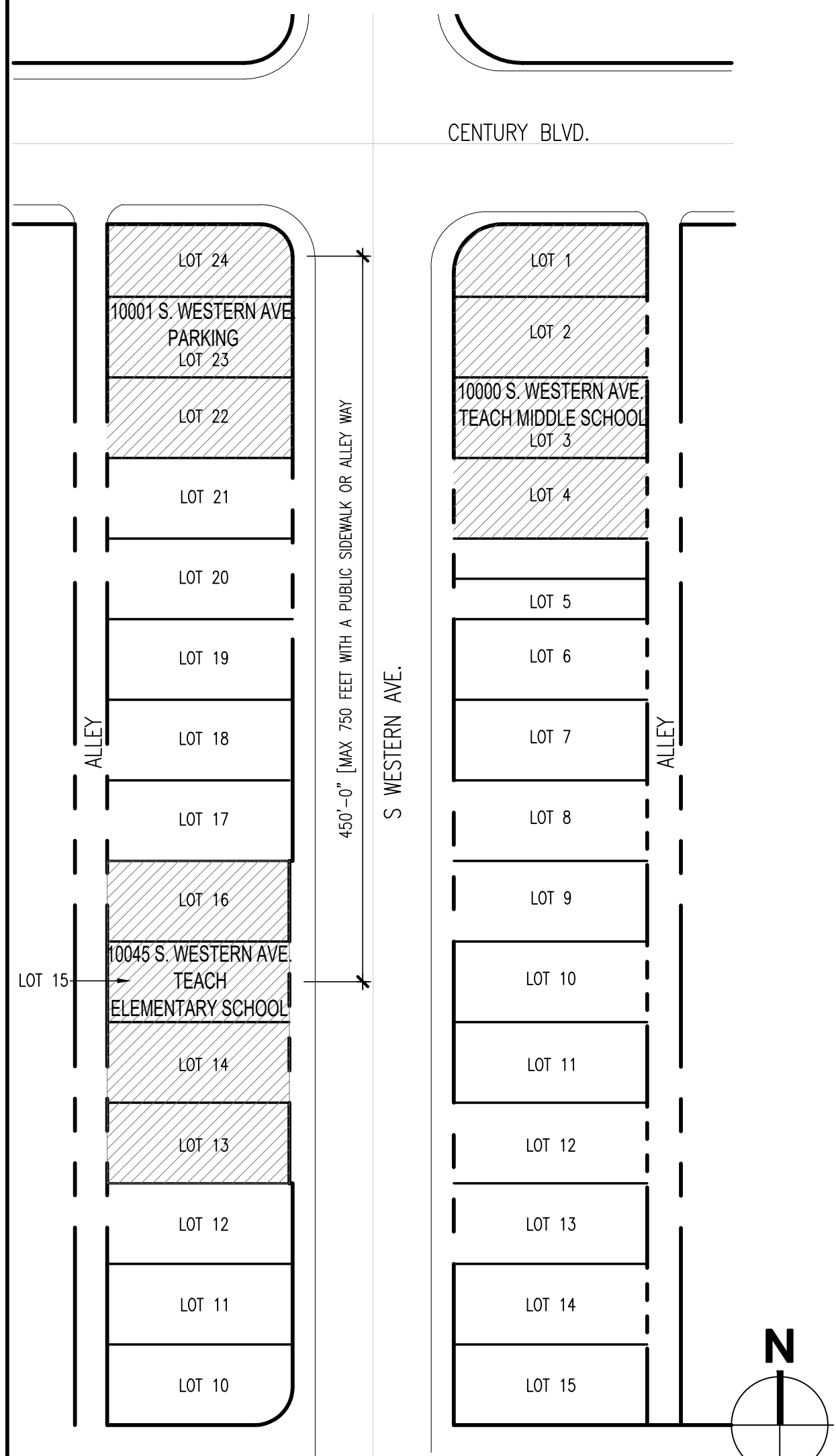
S01 ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATURAL SOIL PER CODE.
 S02 COMPLY WITH PROVISIONS OF CBC SECTION 1804.4 FOR EXPANSIVE SOIL CONDITIONS.
 S03 IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
 S04 ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
 S05 ALL FILL OR BACKFILL SHALL BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM 90% RELATIVE COMPACTION AS DETERMINED ASTM METHOD D-1557. SUBDRAINS SHALL BE PROVIDED WHERE REQUIRED BY CODE.
 S06 ALL GRADES SHALL SLOPE AWAY FROM HOUSE. MIN. 2% FOR 4 FEET, THEN 1% MIN. DRAINAGE WATER OFF THE SITE IN A NON-EROSIVE MANNER.
 S07 ALL COLLECTED WATER TO BE CONDUCTED TO THE STREET BY A NON-EROSIVE METHOD.

SITE KEY NOTES

S11 (E) 14-SHORT TERM BIKE PARKING TO REMAIN. PER CITY PERMIT 03/03/2017.
 S12 SHORT-TERM BIKE PARKING AT 10000 S. WESTERN AVE., REFER TO 3/A-1.3
 S13 EXISTING AND NEW SHORT TERM BICYCLE PARKING, REFER TO SHEET 1/A-1.3
 S14 (E) LONG-TERM BICYCLE PARKING CAPACITY 2-BIKE EACH.
 S15 (E) AC PARKING LOT TO RE-STRIP

PARKING ANALYSIS

| STREET NUMBER | REQUIRED | EXISTING PER PERMIT | PROVIDED | TOTAL |
|---------------|---|--|--|--|
| 10,000 | 43 STALLS | 45 STALLS OFF SITE AT 10,001 (49 ALLOWED PER PERMIT) | 36 STALLS OFF SITE AT 10,001 28 SHORT TERM BIKE (EQUIVALENT TO 7 PARKING STALLS) | 36 PARKING STALLS 7 (28 SHORT TERM BIKE) 43 |
| 10,045 | 10 STALLS 46 SHORT TERM BIKE 4 LONG TERM BIKE | 10 STALLS 44 SHORT TERM BIKE 4 LONG TERM BIKE | 10 STALLS MOVED TO 10,001 2 PROVIDED/ADDED 0 LONG TERM BIKE | 0 STALLS 46 SHORT TERM BIKE 4 LONG TERM BIKE |
| 10,001 | 43 STALLS FOR 10,000 10 STALLS FOR 10,045 | 45 STALLS (49 ALLOWED PER PERMIT) | 36 STALLS FOR 10,000 10 STALLS FOR 10,045 | 46 PARKING STALLS |



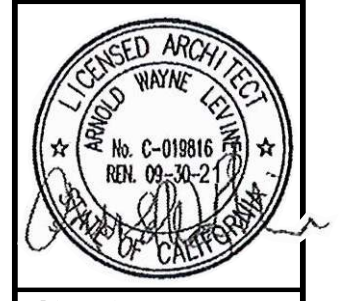
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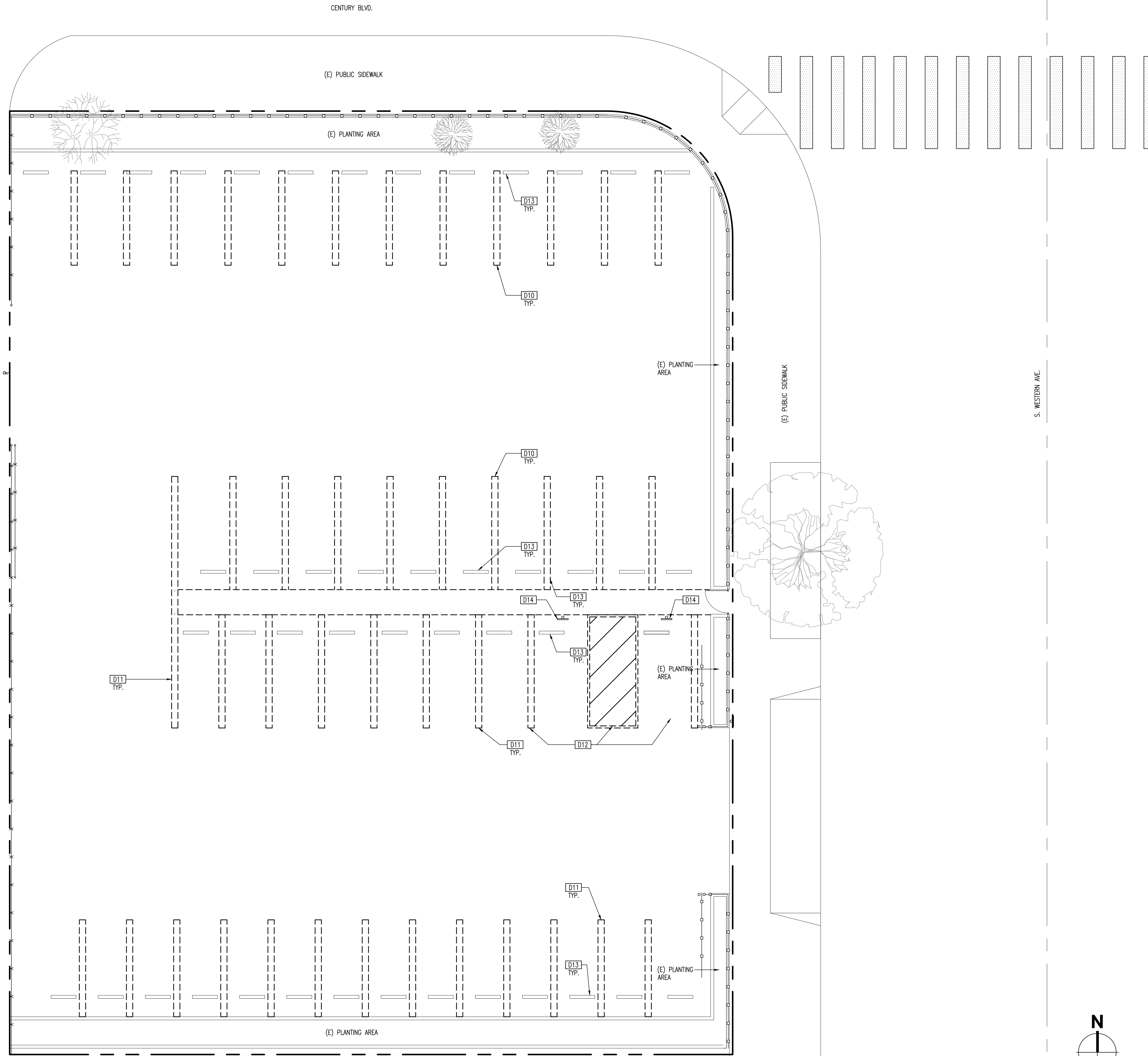
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TEACH PARKING & SHADE STRUCTURE
 10045 S. WESTERN AVE., LOS ANGELES, CA

SITE PLAN



(E) ALLEY



DEMOLITION KEY NOTES

- D10 (E) PARKING STRIPPING TO REMOVE, PREPARE FOR NEW STRIPPING.
- D11 (E) PARKING TO RE-PAIN ON EXISTING STRIPPING.
- D12 (E) ACCESSIBLE PARKING TO REMOVE, PREPARE FOR REPAINT.
- D13 (E) CONCRETE WHEEL STOP TO REMAIN OR RELOCATE AS NEEDED.
- D14 (E) ACCESSIBLE PARKING SIGN TO REMAIN/UPGRADE.

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TEACH PARKING & SHADE STRUCTURE
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PARKING DEMOLITION PLAN



Sheet:
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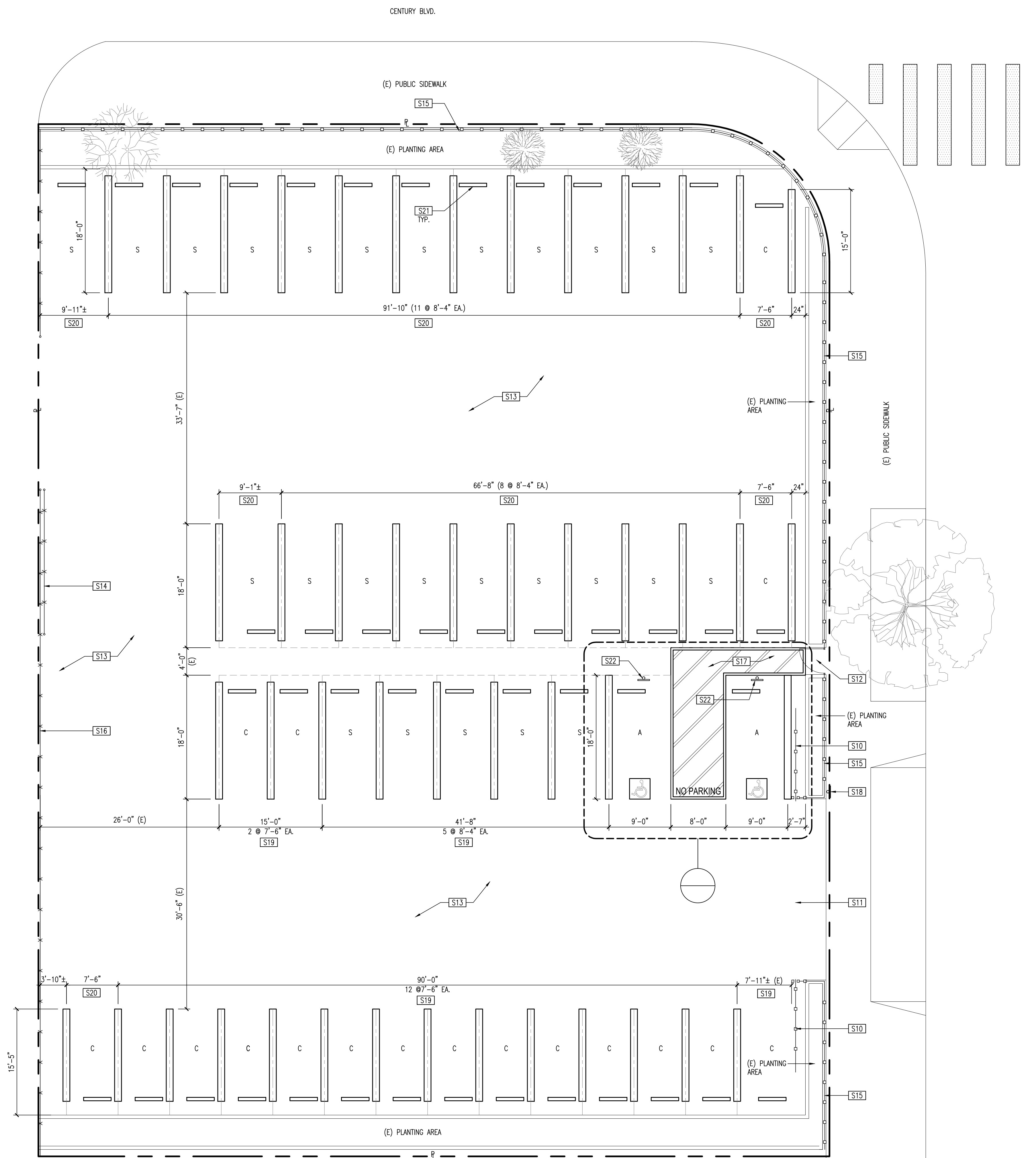
PARKING DEMOLITION PLAN

SCALE:
 1/8" = 1'-0"

1

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Job No.
2019-9060



- SITE KEY NOTES**
- [S10] (E) 26" PAIR-SLIDING GATE TO REMAIN, PROTECT.
 - [S11] (E) DRIVEWAY TO REMAIN
 - [S12] (E) 46" WIDE ACCESSIBLE GATE TO PUBLIC SIDEWALK TO REMAIN
 - [S13] (E) AC PARKING LOT
 - [S14] (E) 22" SLIDING CHAIN-LINK GATE TO REMAIN.
 - [S15] (E) PICKET FENCE TO REMAIN.
 - [S16] (E) CHAIN-LINK FENCE TO REMAIN
 - [S17] (E) PEDESTRIAN WALK TO RE-STRIPE 4" THICK CONTRASTING DIAGONAL STRIPING, @ 36" O.C. (WHITE OR BLUE, DOUBLE COAT) TYP. REFER TO SHEET T-1.2 FOR MORE PARKING INFORMATION.
 - [S18] (E) UNAUTHORIZED VEHICLE WARNING SIGN WITH TOWING COMPANY TELEPHONE NUMBER.
 - [S19] (E) PARKING STALL STRIPE TO RE-PAINT. REFER TO SHEET T-1.4
 - [S20] PAINT STRIPE PARKING STALL. REFER TO SHEET T-1.4
 - [S21] (E) CONCRETE WHEEL STOP, ADJUST LOCATION AS NEEDED. REFER TO 1/T-1.2 AND 14/T-1.2 FOR CLEARANCE AND DIMENSIONS.
 - [S22] (E) ACCESSIBLE PARKING SIGN TO UPGRADE, PER DETAIL 3/T-1.2 AND PAGE 5 OF 7 ON SHEET T-1.2

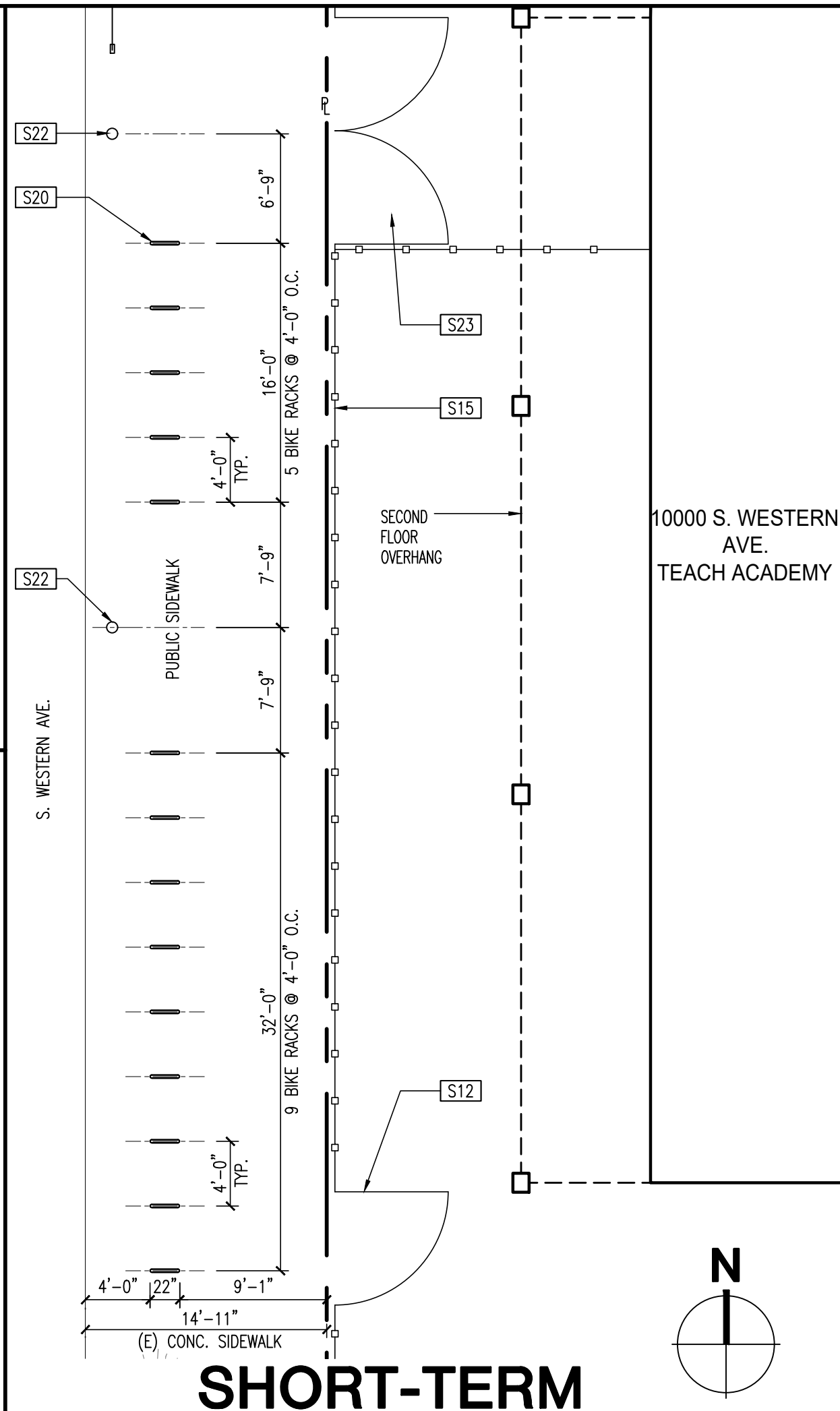
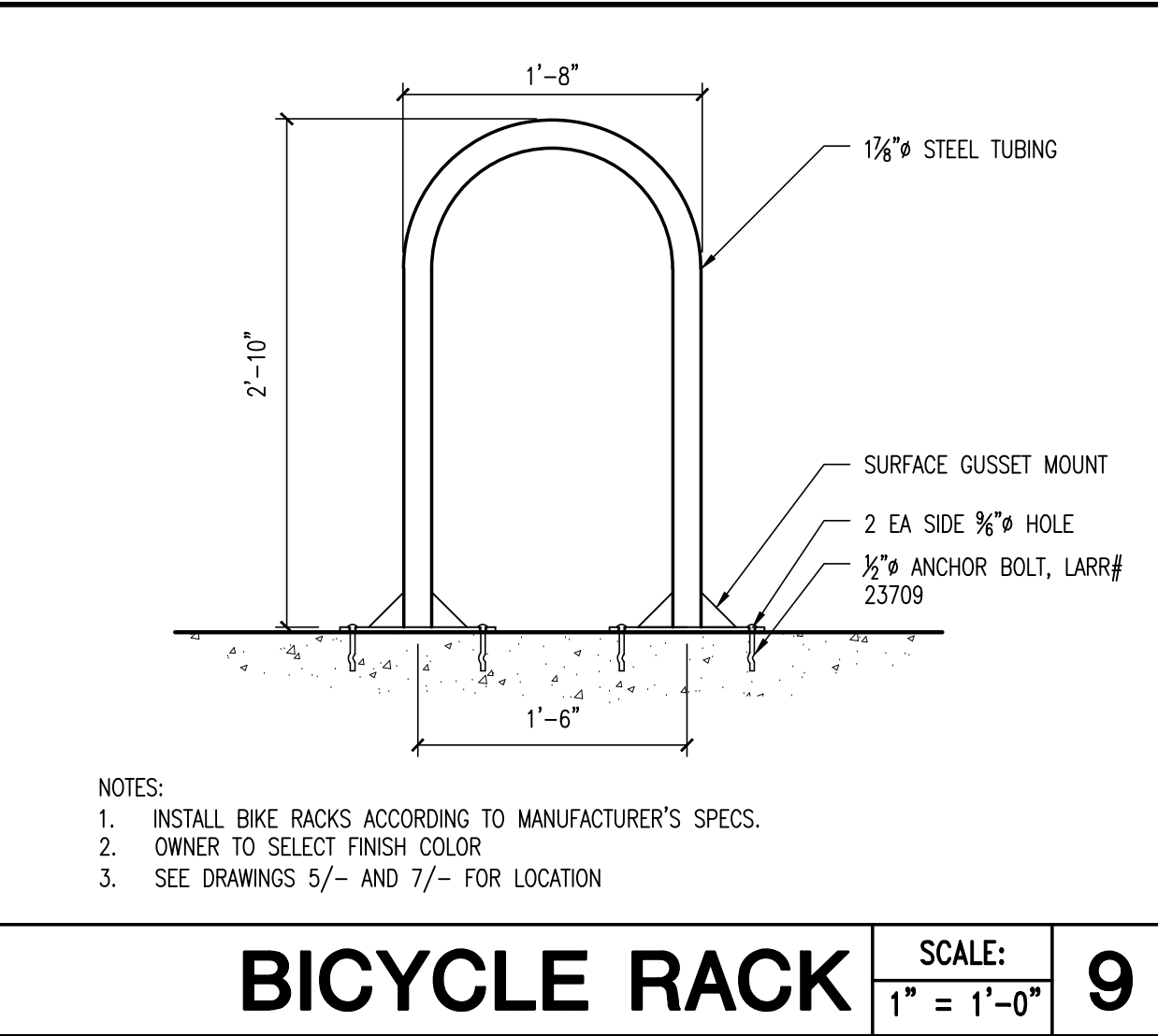
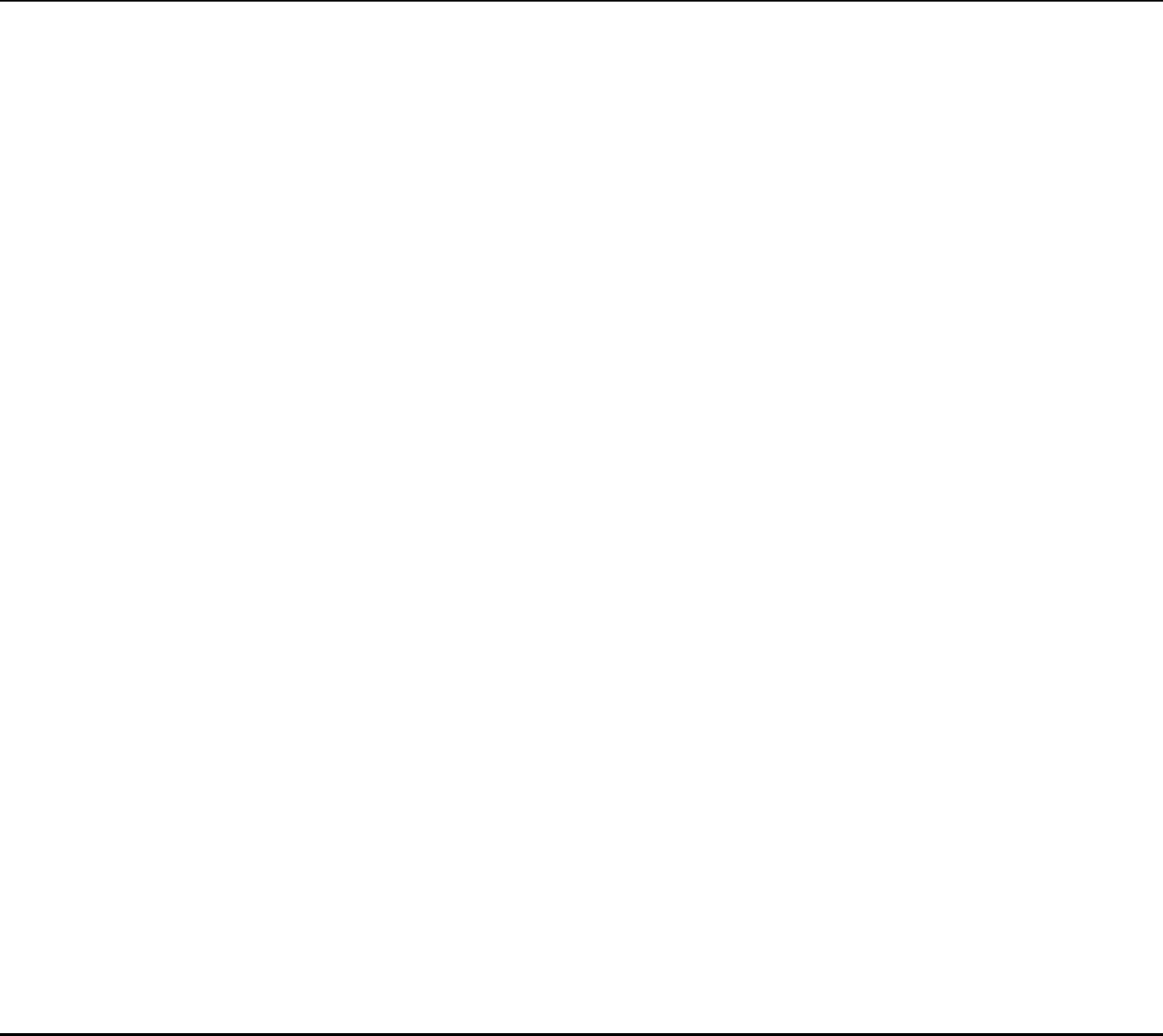
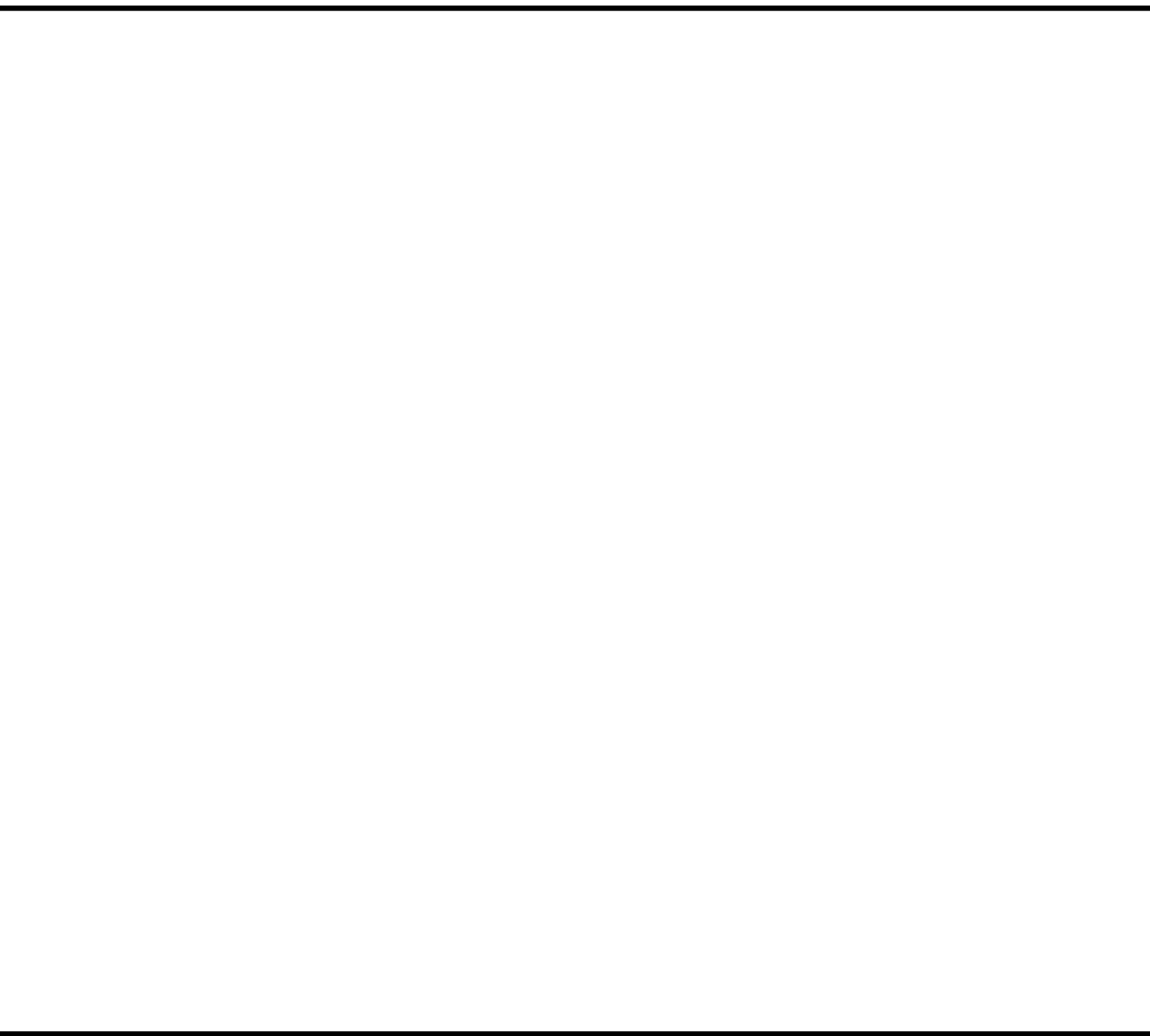
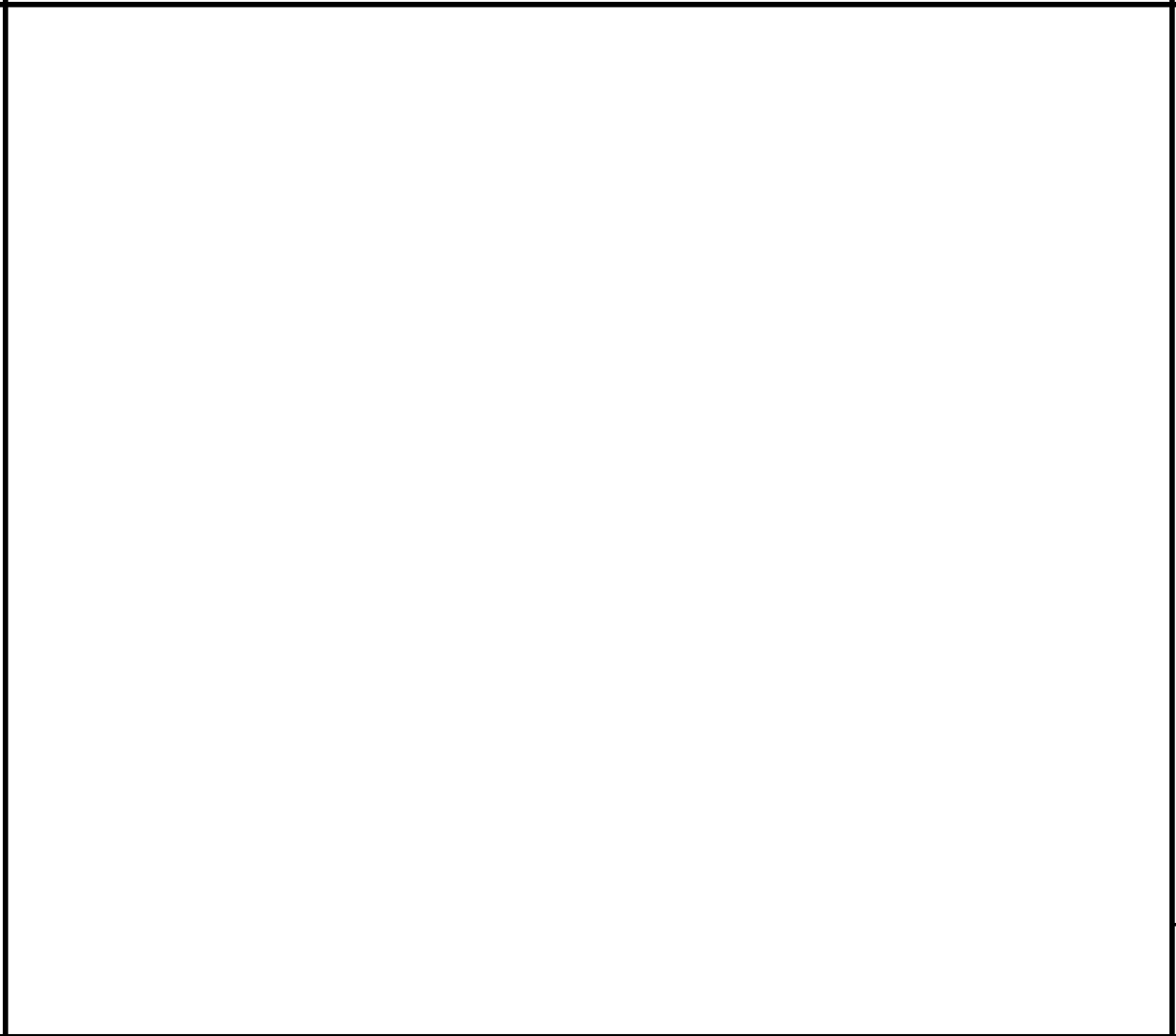
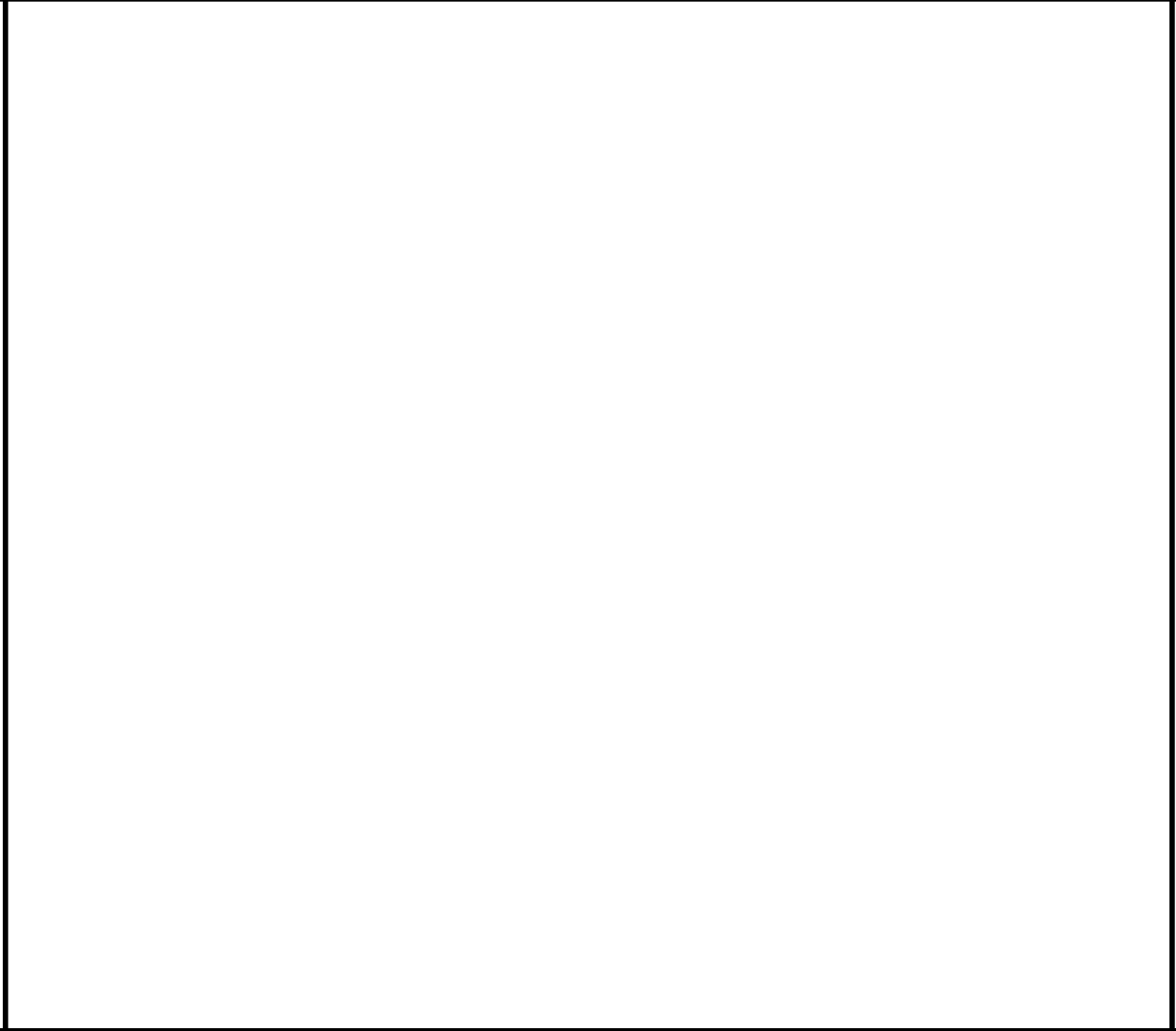
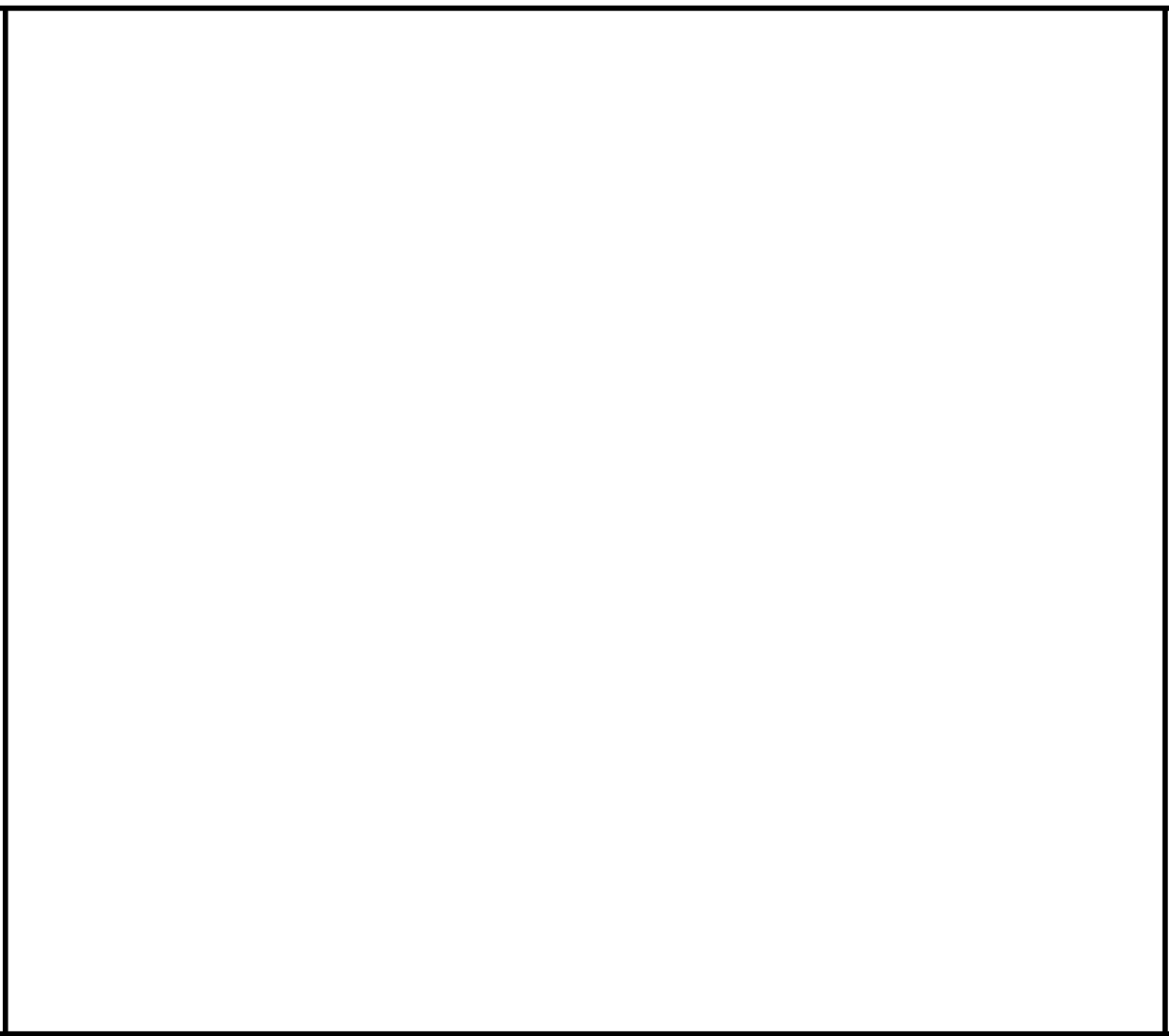
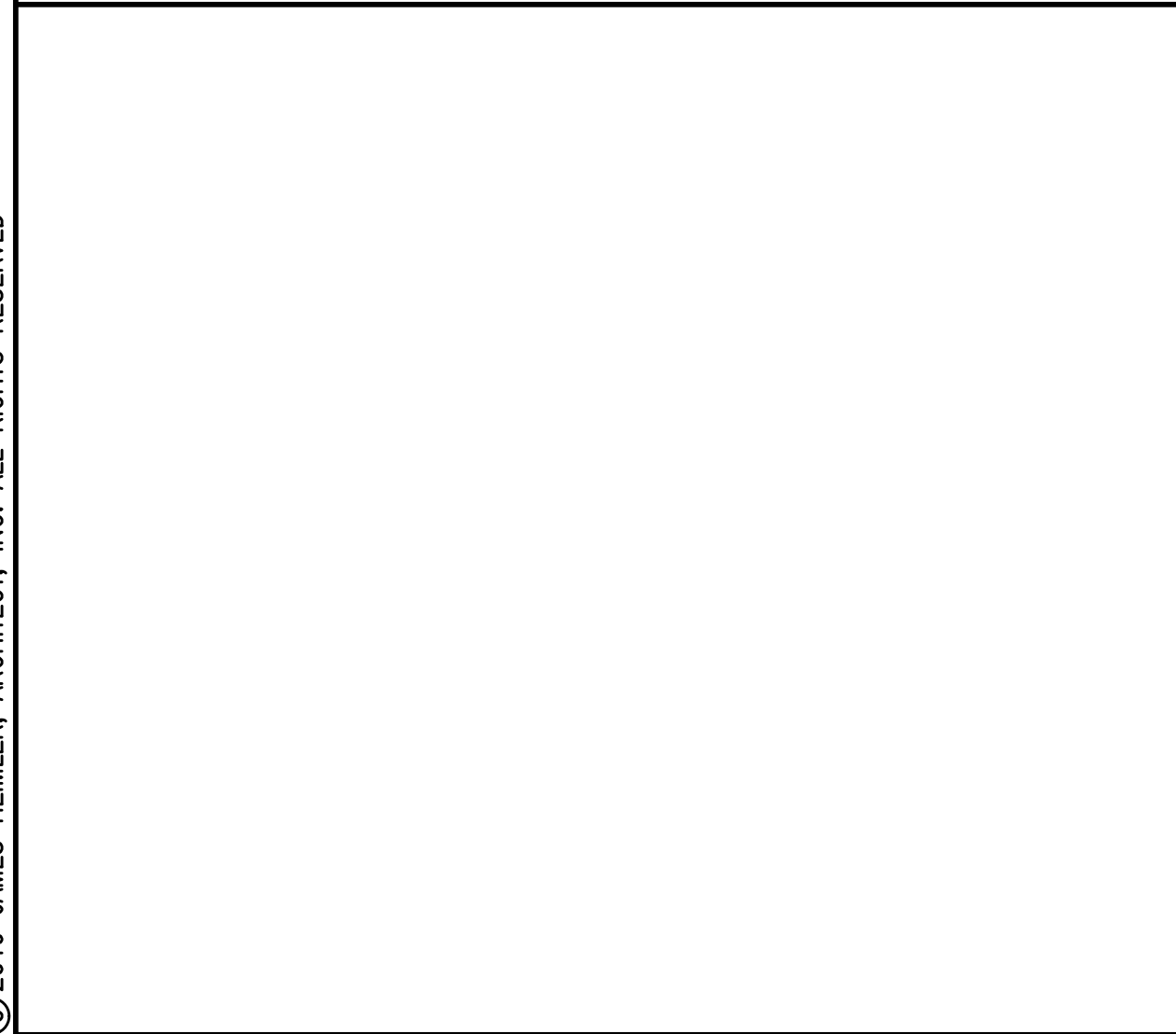
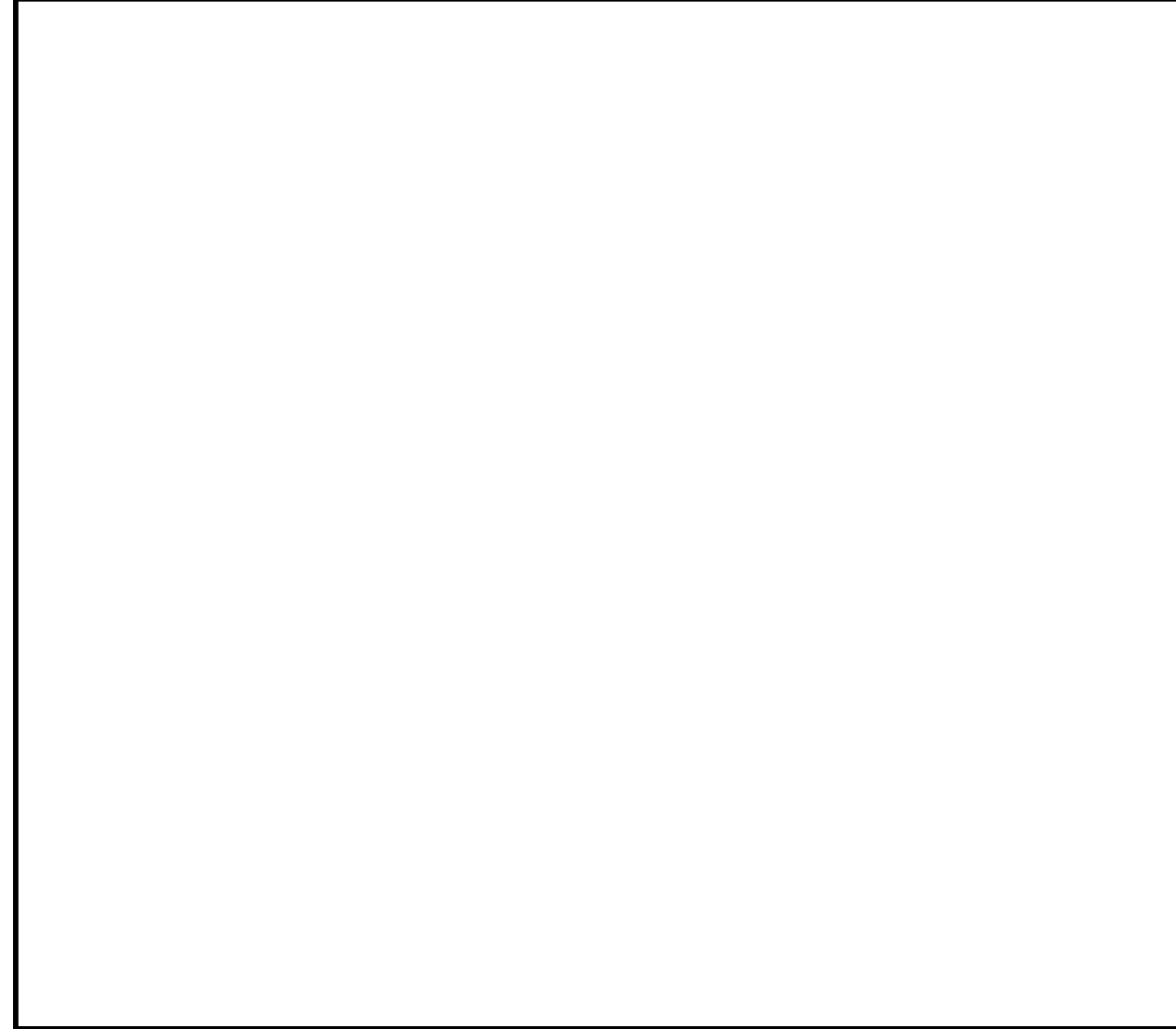
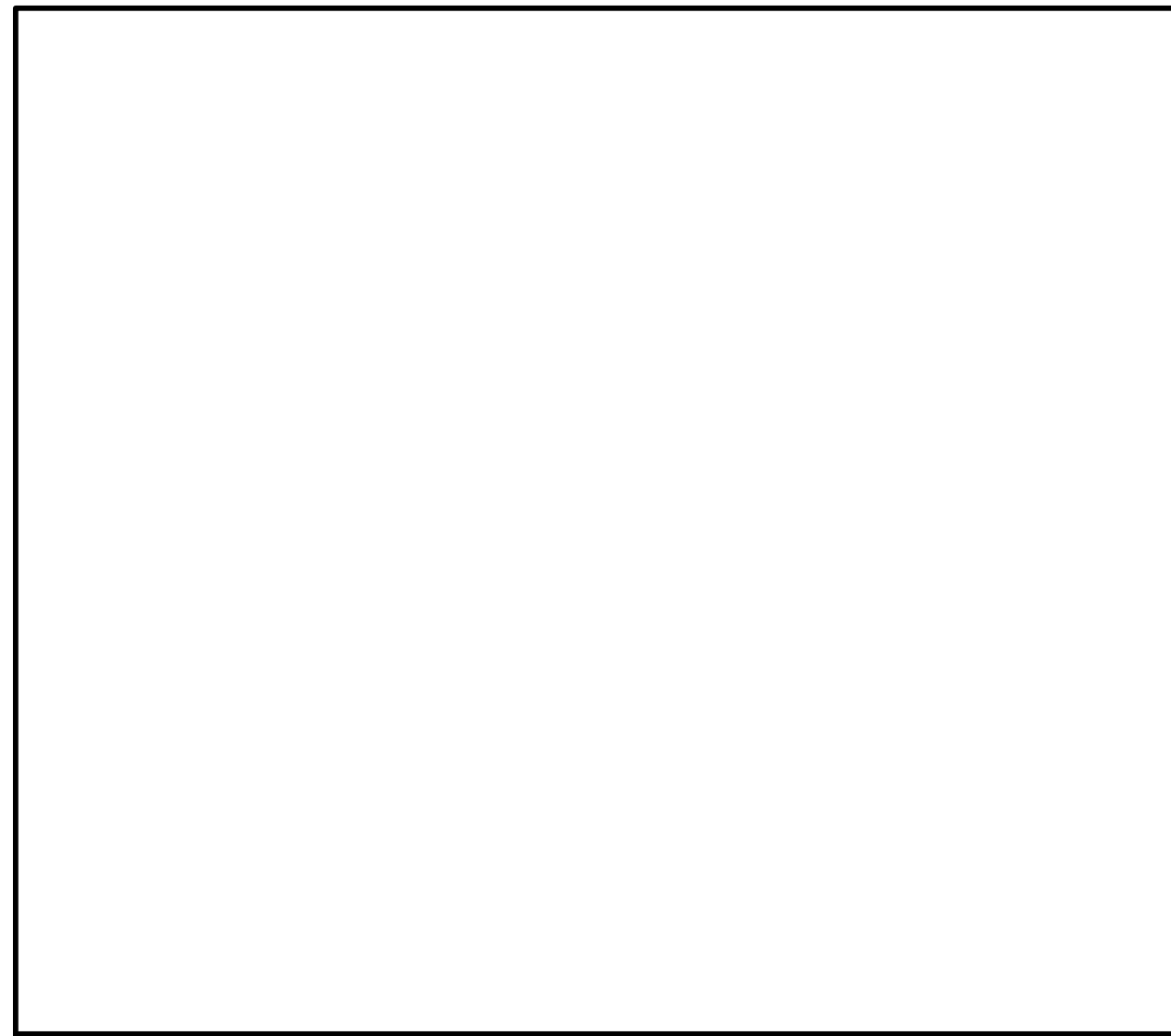
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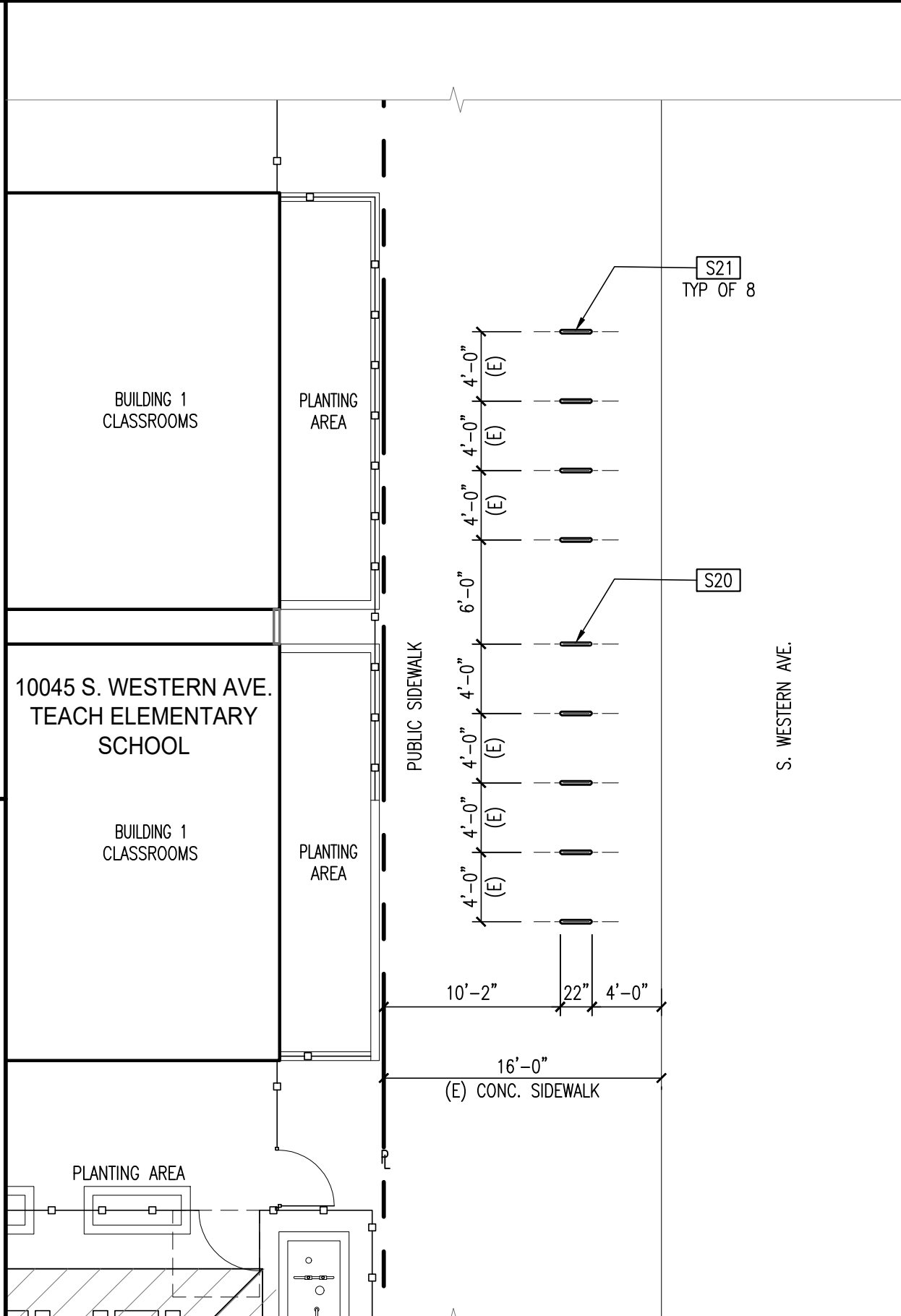
TEACH PARKING & SHADE STRUCTURE
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PARKING PLAN

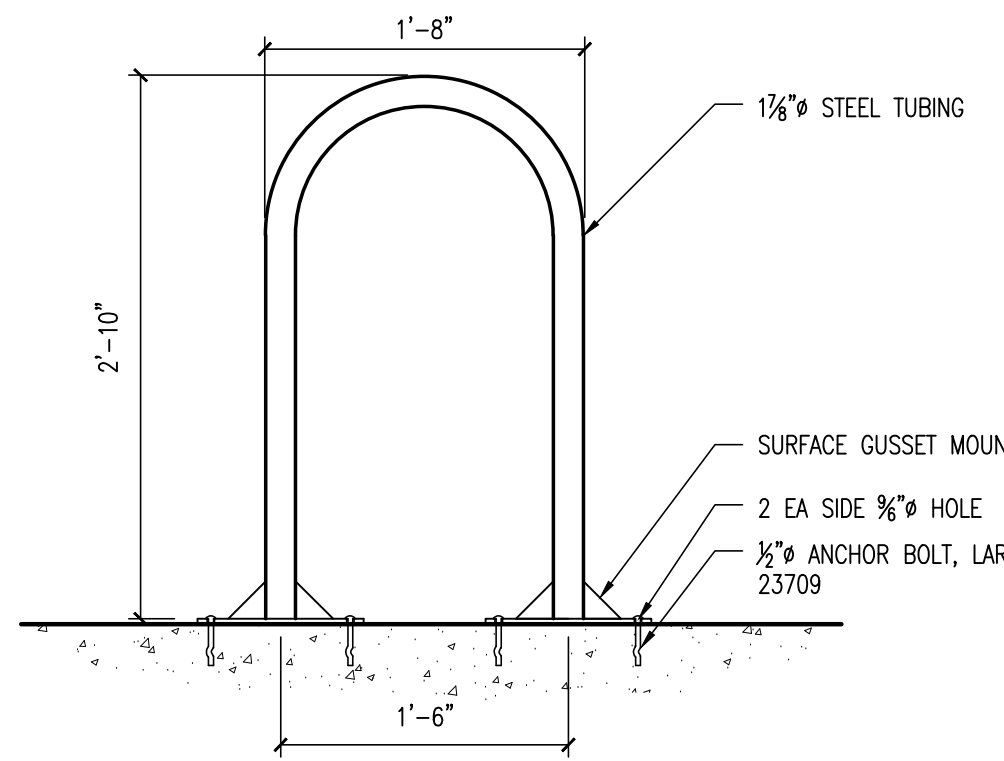
Sheet:
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SHORT-TERM BIKE PARKING SCALE: 1/8" = 1'-0" **7**



SHORT-TERM BIKE PARKING SCALE: 1/8" = 1'-0" **5**



- NOTES:
 1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECS.
 2. OWNER TO SELECT FINISH COLOR
 3. SEE DRAWINGS 5/- AND 7/- FOR LOCATION

BICYCLE RACK SCALE: 1" = 1'-0" **9**

- SITE KEY NOTES**
- S12 (E) 4'-10" WIDE ACCESSIBLE GATE TO PUBLIC SIDEWALK TO REMAIN
 - S15 (E) PICKET FENCE TO REMAIN.
 - S20 BIKE PARKING RACK FOR 2-BIKES EACH, REFER TO 9/- AND MANUFACTURER'S SPECIFICATIONS.
 - S21 (E) BIKE PARKING RACK FOR 2-BIKES EACH PER CITY PERMIT 03/03/2017.
 - S22 (E) STREET LIGHT POST.
 - S23 (E) 14± PAIR OF PEDESTRIAN GATE TO REMAIN.

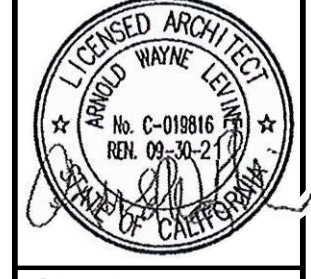
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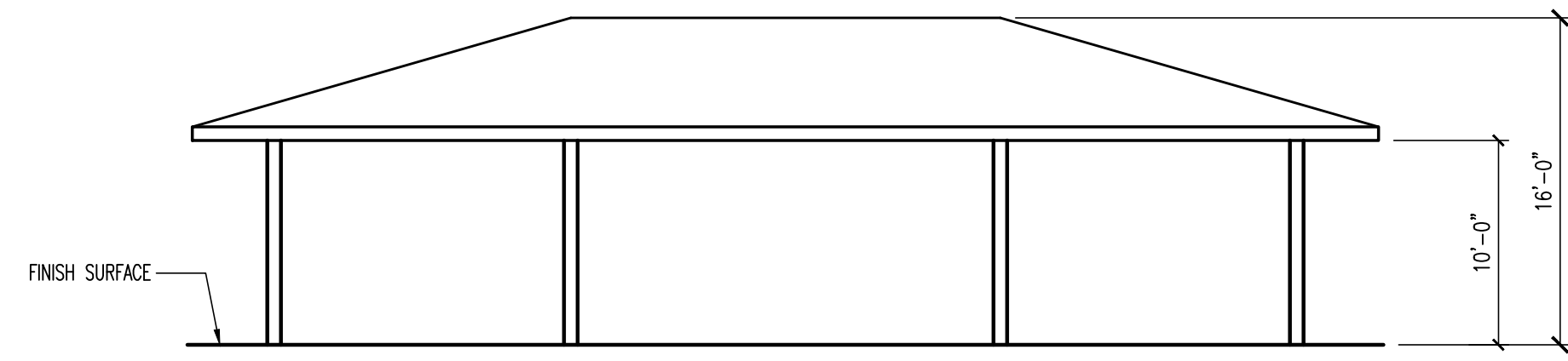
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TEACH PARKING & SHADE STRUCTURE
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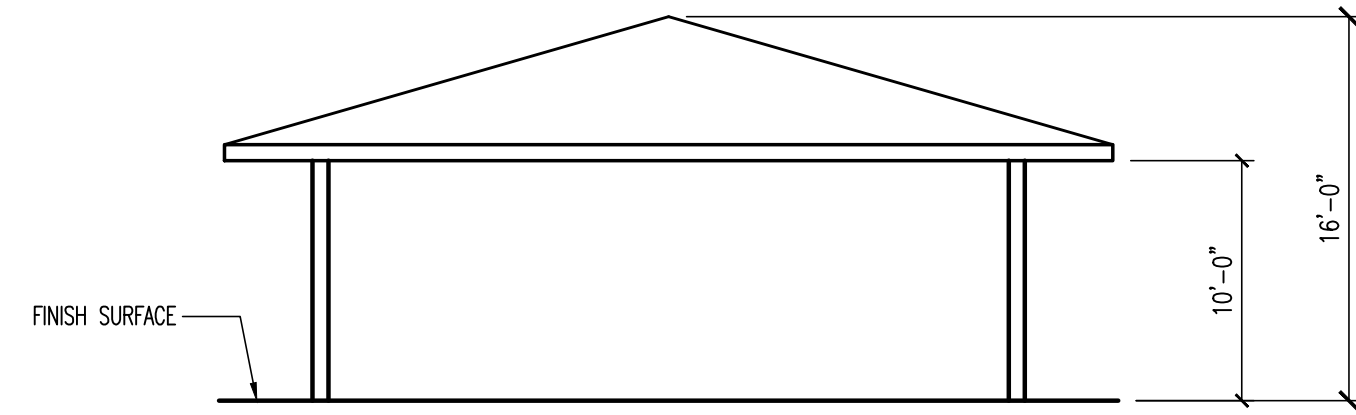
BIKE PARKING PLANS



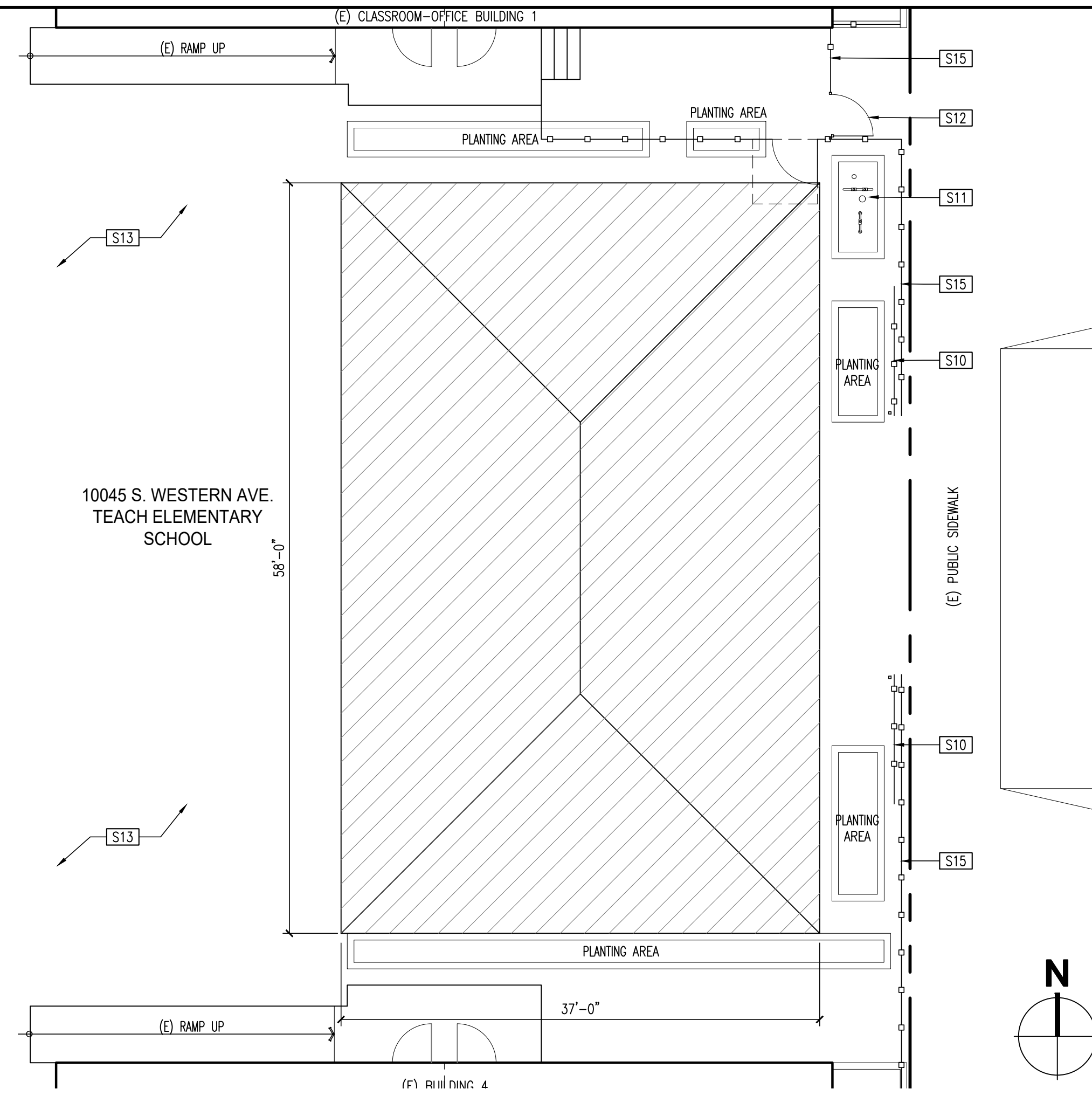
Sheet: **A-13**
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(B) EAST ELEVATION



(A) NORTH ELEVATION



DEMOLITION KEY NOTES

- (D10) (E) PARKING STRIPPING TO REMOVE ENTIRETY.
- (D11) (E) CONCRETE WHEEL STOP TO REMOVE.
- (D14) (E) TRUNCATE DOMES TO REMOVE.
- (D15) (E) CANOPY TO REMOVE.

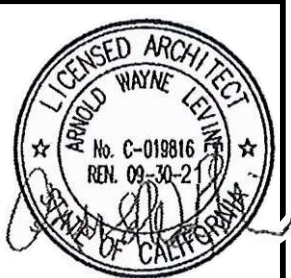
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LUNCH SHELTER PLAN



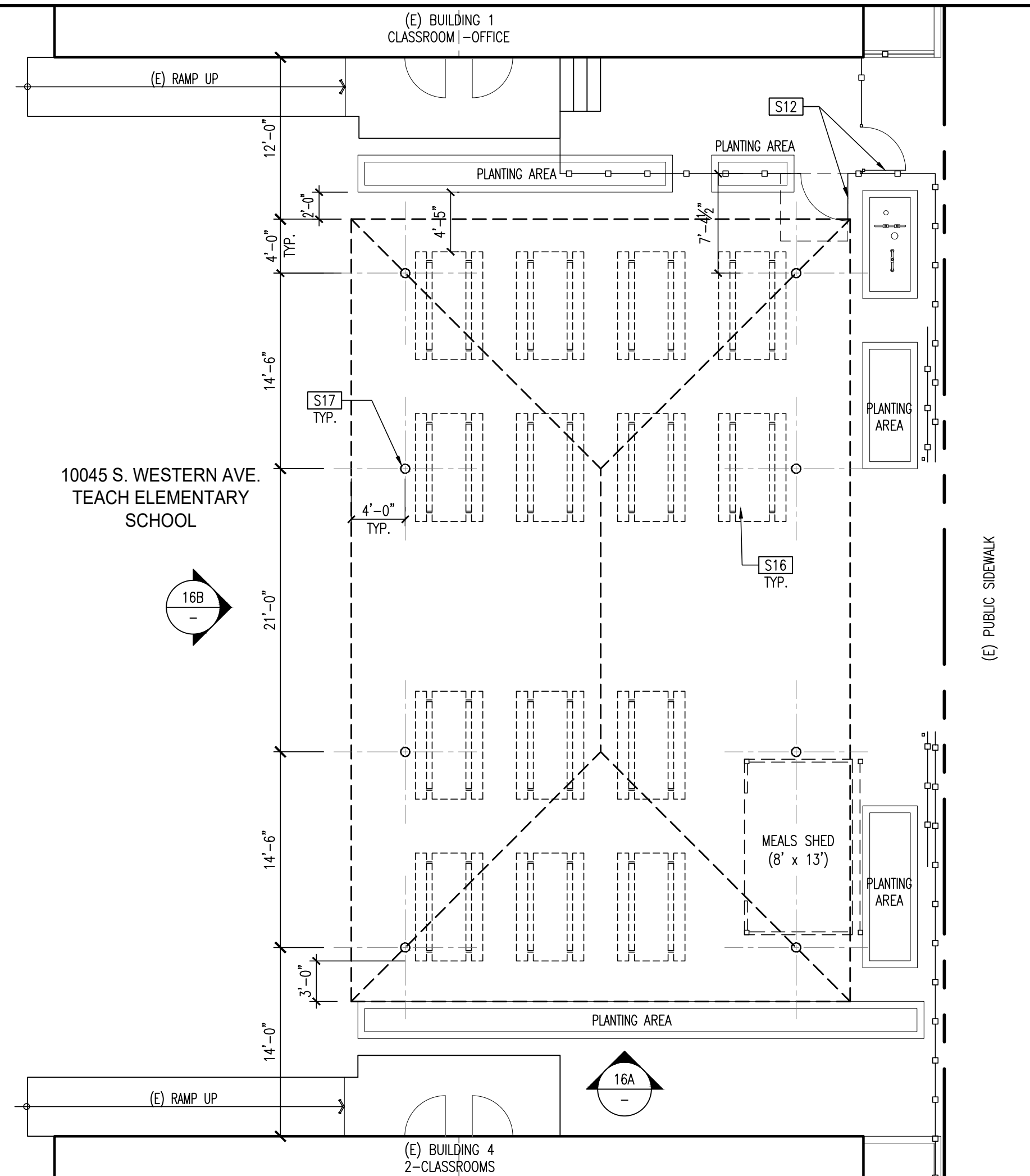
Sheet:
A-14
8 of 8 shts.

LUNCH SHELTER ELEVATIONS

SCALE: 1/8" = 1'-0" **15**

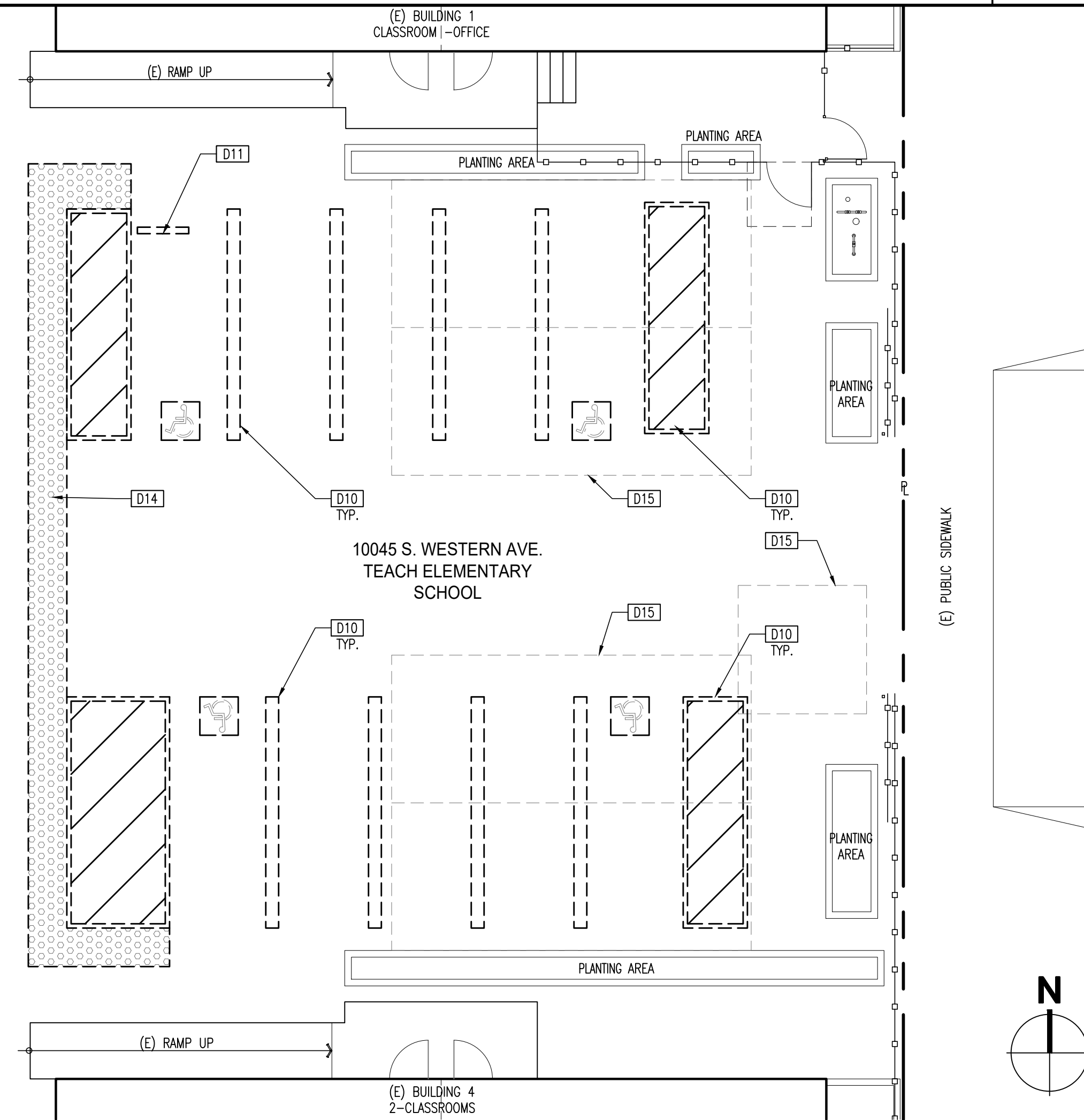
LUNCH SHELTER PLAN

SCALE: 1/8" = 1'-0" **7**



LUNCH SHELTER FLOOR PLAN

SCALE: 1/8" = 1'-0" **13**



PARKING DEMOLITION PLAN

SCALE: 1/8" = 1'-0" **5**

SITE KEY NOTES

- (S10) (E) 26" PAIR-SLIDING GATE TO REMAIN, PROTECT.
- (S11) (E) BACK-FLOW PREVENTER, PROTECT.
- (S12) (E) 38" WIDE ACCESSIBLE PEDESTRIAN GATE, PROTECT.
- (S13) (E) AC SURFACE.
- (S14) SHADE STRUCTURE, REFER TO MANUFACTURER'S DRAWINGS AND SPECIFICATIONS-DEFERRED SUBMITTAL
- (S15) (E) PICKET FENCE TO REMAIN.
- (S16) (E) 30"W X 96"L MOVABLE LUNCH TABLE WITH 10"W BENCHES TO REMAIN, PROTECT.
- (S17) SHADE STRUCTURE COLUMN.