



Literacy First Charter School



Liberty High Charter School

EL CAJON, CA


HED

BD21-LF007-001
MUP - 15-027 (m1)

Project # PDS2021-MUP-15-027M1 incl. 14 sheets
was approved on 10/25/2021 by

- The Director of Planning & Development Services
- The Zoning Administrator
- The San Diego County Planning Commission
- The San Diego County Board of Supervisors

By *Dru Pull* Planning Manager
Name Title



GENERAL NOTES

- REFER TO LANDSCAPE DRAWINGS FOR LOCATIONS OF ALL LANDSCAPE, IRRIGATION HARDSCAPE, ETC. GENERAL CONTRACTOR SHALL USE LANDSCAPE PLANS FOR BIDDING ITEMS.
- REFER TO CIVIL DRAWINGS FOR CURBS, PAVINGS, SITE DRAINAGE, CONTROLS ETC.
- GENERAL CONTRACTOR SHALL COORDINATE SITE PLAN DATA SHOWN ON THE ARCHITECTURAL, CIVIL, ELECTRICAL AND LANDSCAPE DRAWINGS AND NOTIFY THE ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION
- REFER TO ELEC. DRAWINGS FOR ALL ON-SITE ELECTRICAL
- ALL KNOWN PROPERTY LINES, EASEMENTS AND BUILDING, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN
- YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
- PROVIDE CONCRETE PAD @ ALL TRASH DUMPSTERS. SEE PLAN FOR LOCATION AND EXTENT.
- PROVIDE 4" WIDE WHITE PAINTED (CAL TRANS HIGHWAY ENAMEL) STRIPES @ ALL PARKING
- REFERENCE ARCHITECTURAL SITE PLAN FOR HANDICAP ACCESS.
- ALL DIMENSIONS TO CURB ARE TO FRONT FACE OF CURB
- SETBACK FOR P.I.V. AND F.D.C. SHALL BE FOUR FEET FROM CURB AND 3' X3' CONCRETE PAD POURED AROUND BOTH, SEE CIVIL DRAWINGS
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, PROPERTY DIMENSIONS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY ARCHITECT FOR CLARIFICATION OF ANY DISCREPANCIES.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT SHALL OBTAIN A GRADING PERMIT FROM THE COUNTY OF SAN DIEGO (REFERRED TO AS AN "ENGINEERING PERMIT") FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS IN ACCORDANCE WITH THE COUNTY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE COUNTY ENGINEER.
- THE DRAINAGE SYSTEM PROPOSED WITH THIS DEVELOPMENT IS SUBJECT TO APPROVAL BY THE COUNTY ENGINEER.

MISC. PLAN CHECK NOTES

- NOTE "STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED (PVC) FOR INTERIOR WATER-SUPPLY PIPING"
- BUILDING SIGNAGE AND MONUMENT SIGNAGE ARE NOT A PART OF THIS PROJECT AND WILL BE PROPOSED UNDER A SEPARATE PERMIT, IF ADDED.
- A CONDITION: THIS PROJECT SHALL COMPLY WITH ALL CURRENT STREET LIGHTING STANDARDS ACCORDING TO COUNTY OF SAN DIEGO MUNICIPAL CODE. THIS MAY REQUIRE (BUT NOT BE LIMITED TO) INSTALLATION OF NEW STREET LIGHTS), UPGRADING LIGHT FROM LOW PRESSURE TO HIGH PRESUIRE SODIUM VAPOR AND/OR UPGRADING WATTAGE.
- ALL SIGNAGE ASSOCIATED WITHN THE PROJECT IS NOT A PART OF THIS APPLICATION AND WILL BE PROPOSED UNDER A SEPARATE PERMIT.
- ANY PROPOSED WALL/FENCE (WHICH INCLUDES RETAINING WALLS), SHALL COMPLY WITH THE FENCE REGULATIONS OF THE COUNTY OF SAN DIEGO MUNICIPAL CODE.
- A FIRE ALARM SHALL BE INSTALLED PER NFPA-72 STANDARDS.
- A FIRE SPRINKLER SYSYEM SHALL BE INSTALLED PER NFPA-13 STANDARDS AND SAN MIGUAL CONSOLIDATED FIRE PROTECTION DISTRICT STANDARDS.

PROJECT DIRECTORY

BUILDING OWNER:
MX HOLDINGS, LLC
1770 FOURTH AVE.
SAN DIEGO, CA 92101

APPLICANT
LITERACY FIRST CHARTER SCHOOLS, INC.
1012 EAST BRADLEY AVE.
EL CAJON, CA 92020

ARCHITECT:
HED
11750 SORRENTO VALLEY ROAD, SUITE 100
SAN DIEGO, CA 92121
TELEPHONE: (858) 519-3988
FAX: (858) 677-9886
CONTACT: KEVIN HENRY
E-MAIL: kperry@hed.design

CIVIL:
KARN ENGINEERING AND SURVEYING
129 WEST FIG STREET
FALLSBROOK, CA 92028
TELEPHONE: (760) 728-1134
FAX: (760) 728-3209
CONTACT: SCOTT HARRY
E-MAIL: scott.harry@karnengineering.com

LANDSCAPE ARCHITECT:
CAROL CORNELIUS
12044 ROYAL RD. #123
EL CAJON, CA 92021
TELEPHONE: (619) 251-6372
CONTACT: CAROL CORNELIUS
E-MAIL: corneliusrla@gmail.com

PROJECT DESCRIPTION USE

PROPOSED CONSTRUCTION OF A NEW CHARTER HIGH SCHOOL, SPORTS FIELD (WITH LIGHT POLES), PARKING LOT (WITH LIGHT POLES), AND ALL SITE IMPROVEMENTS TO SUPPORT THE BUILDING WILL BE 2-STORY, APPROX. 48,500 SF TOTAL, WITH CAPACITY TO HOUSE APPROX. 33 FACULTY/STAFF AND NO MORE THAN 450 STUDENTS

* SEE SITE PLAN SHEET AS-101 FOR ADDITIONAL INFORMATION

CHANGE

PROJECT IS REQUESTING A MINOR DEVIATION TO THE SIZE OF BUILDING B FROM THE EXISTING MUP. BUILDING B IS LARGER BY 2,730 SF. THIS INCREASED AREA IS WITHIN THE BOUNDARIES OF THE INTERNAL COURTYARD AREA. THE ENLARGED BUILDING FOOTPRINT REPLACES PREVIOUSLY DESIGNED IMPERVIOUS PAVEMENT AREA. THE ENLARGED BUILDING AREA IS REQUIRED TO PROVIDE APPROPRIATE PROGRAM SQUARE FOOTAGE FOR CURRENT TEACHING METHODOLOGY. THERE IS NO INCREASE IN TOTAL STUDENTS OR FACULTY BEING REQUESTED FROM THIS MINOR DEVIATION REQUEST. ALL ELEMENTS OF BUILDING B REMAIN RELEVANT TO THE INTENDED AESTHETIC APPROVED BY THE MUP. ROOF HEIGHTS, MATERIALS, SITE LOCATION, ETC. WINDOW AND DOOR LOCATIONS HAVE BEEN ADJUSTED TO ACCOUNT FOR THE LARGER BUILDING FOOTPRINT.

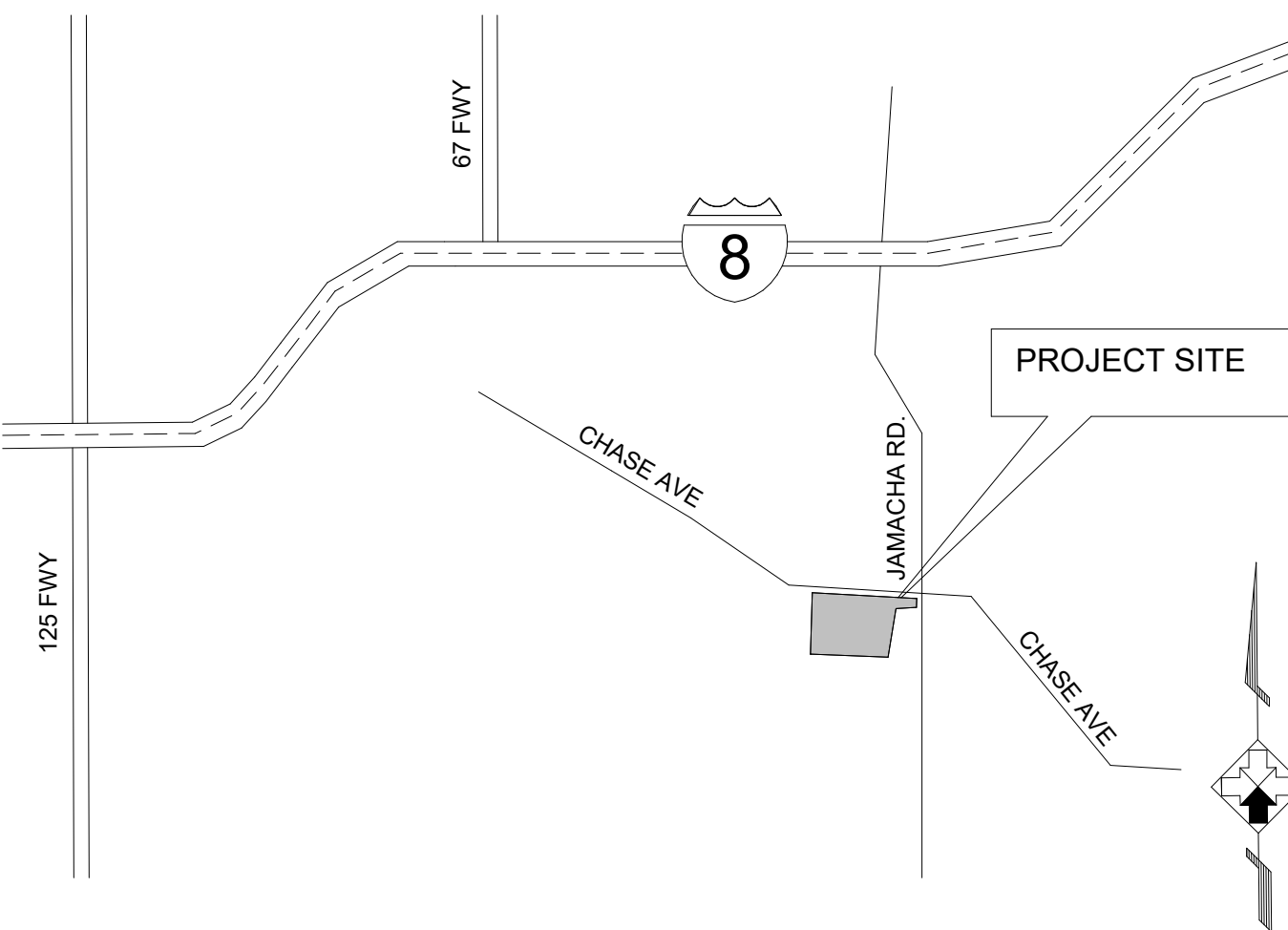
LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 16 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO OFFICIAL PLAT THEREOF, AS SHOWN ON RECORD OF SURVEY MAP NO. 21359

* APN: 498-330-39-00

* SITE AREA: 8.83 ACRES

LOCATION MAP



SHEET INDEX

SHEET NUMBER	SHEET NAME
G-000	Coversheet
G-011	Sheet Index
AS-101	Site Plan
A-101	Level 1 Plan - Overall
A-101A	Level 1 Plan - Sector A
A-101B	Level 1 Plan - Sector B
A-102	Level 2 Plan - Overall
A-102A	Level 2 Plan - Sector A
A-102B	Level 2 Plan - Sector B
A-191	Roof Plan - Overall
A-191A	Roof Plan - Sector A
A-191B	Roof Plan - Sector B
A-201	Exterior Elevations
A-202	Exterior Elevations

ZONE INFORMATION

USE REGULATIONS:	RR
ANIMAL REGULATIONS	J / Q
LOT SIZE	0.5 AC
BUILDING TYPE	C
HEIGHT	G
SETBACKS	O / G
OPEN SPACE	- / A
SPECIAL AREA REGULATIONS	NONE

AREA SUMMARY

	APPROVED SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE	NET CHANGE
SECTOR A			
FIRST FLOOR	19,419 SF	19,419 SF	NO CHANGE
SECOND FLOOR	11,666 SF	11,666 SF	NO CHANGE
TOTAL A *	31,085 SF	31,085 SF	NO CHANGE
SECTOR B			
FIRST FLOOR	7,306 SF	8,671 SF	1,365 SF
SECOND FLOOR	7,306 SF	8,671 SF	1,365 SF
TOTAL B	14,612 SF	17,342 SF	2,730 SF
TOTAL (A + B)	45,697 SF	48,427 SF	2,730 SF

* NOTE: SECTOR A SQUARE FOOTAGE IS SAME AND NO CHANGE

CUMULATIVE CHANGE TABLE

PROJECT #	APPROVED SQUARE FOOTAGE	DESCRIPTION	PERCENTAGE CHANGE
MUP 15 - 027	45,697 SF	SECTOR A + SECTOR B	BASELINE
MUP 15 - 027M	PROPOSED 48,426 SF	SECTOR A + SECTOR B AREA ADDITION	PLUS 5.97%
NET CHANGE	2,730 SF	SECTOR A + SECTOR B AREA ADDITION	TOTAL 5.97%

PARKING INFORMATION:

PARKING STALL MINIMUM REQUIREMENTS

STANDARD:
TYPICAL STALL: 9'-0" WIDE x 18'-0" LONG (3FT. OVERHANG PERMITTED)

ACCESSIBLE:
TYPICAL STALL: 9'-0" WIDE x 18'-0" LONG (2FT. OVERHANG PERMITTED)
ACCESS AISLE (NON - VAN): 5'-0" WIDE x 18'-0" LONG
ACCESS AISLE (VAN): 8'-0" WIDE x 18'-0" LONG

PARKING REQUIRED PER COUNTY OF SD:
1 - SPACE PER EACH EMPLOYEE = 33 SPACES
0.25 - SPACES PER EACH STUDENT = 113 SPACES
15 - SPACES FOR VISITORS = 15 SPACES

TOTAL SPACES REQUIRED: 161 SPACES

MOTORCYCLE PARKING PROVIDED = 6 SPACES

BICYCLE PARKING PROVIDED (0.1 PER STUDENT) = 45 BIKE SPACES

SEATING CAPACITY:
BLEACHERS: 800 MAX.
GYM: 500 MAX.

PARKING REQUIRED (BASED ON SEATING CAPACITY):
BLEACHERS: 800 x 2 = 160 STALLS
GYM: 500 x 2 = 100 STALLS

NOTE THESE EVENTS DO NOT HAPPEN AT THE SAME TIME. NOR DURING SCHOOL HOURS. MAX. REQUIRED 160 STALLS

TOTAL PARKING PROVIDED IS: 161 SPACES



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Sheet Index

APPROVED
04.25.2021
PLANNING & DEVELOPMENT SERVICES

G-011

CHASE AVE.



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JAMACHA RD.

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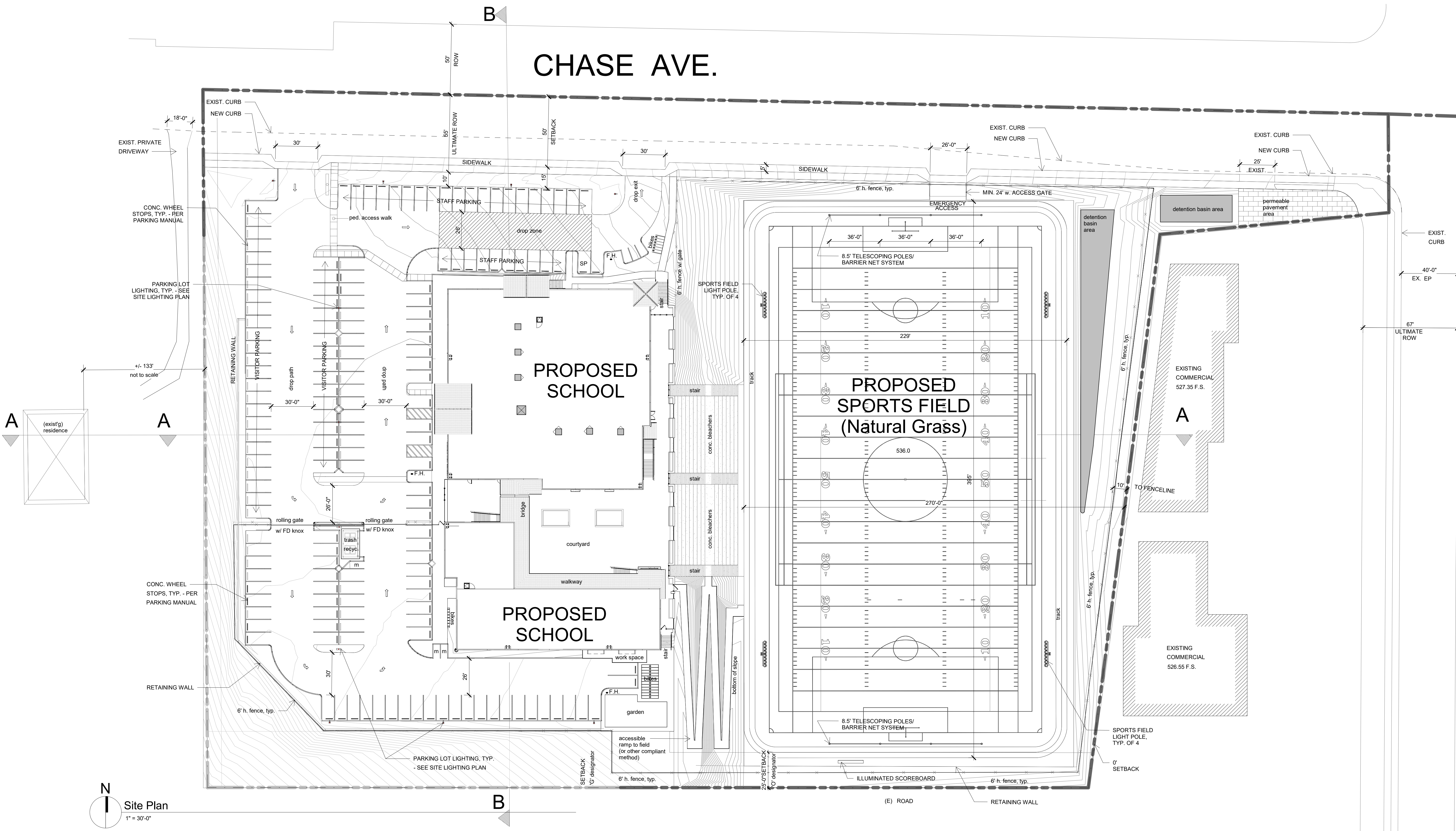
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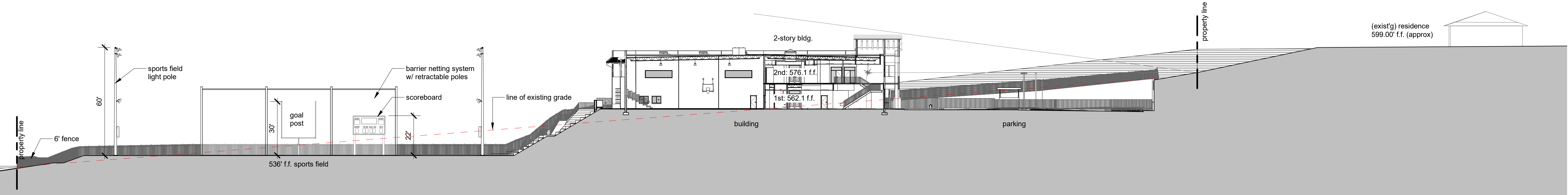
Site Plan

AS-101

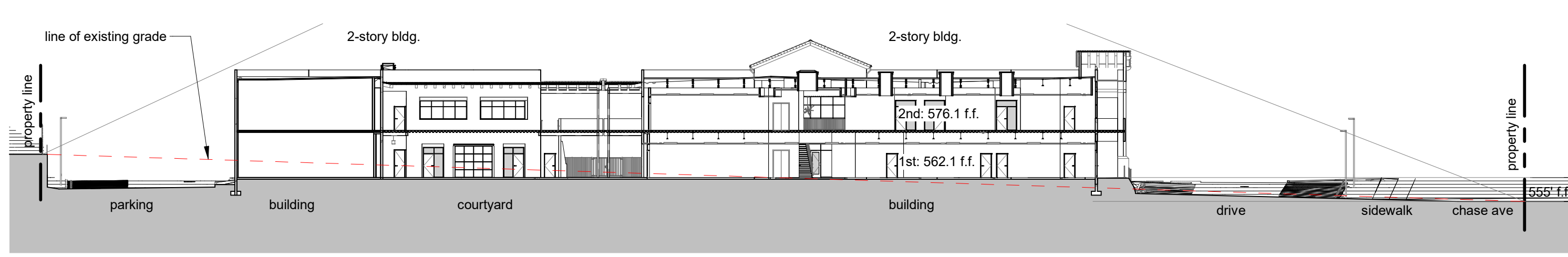
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 Oct 25, 2021
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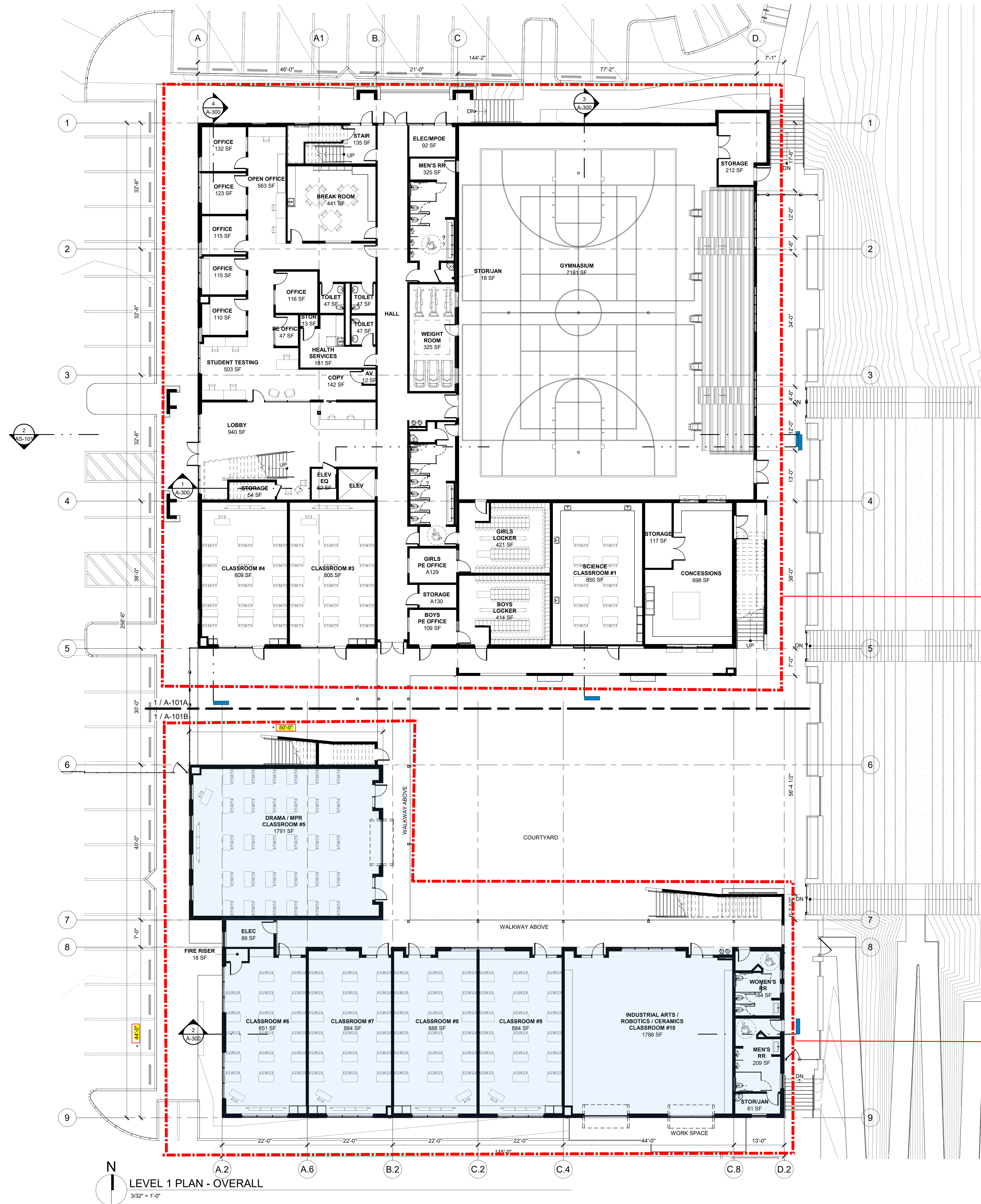
Site Plan
 1" = 30'-0"



2 SITE SECTION A-A Option B
 1" = 30'-0"



1 SITE SECTION B-B Option B
 1" = 30'-0"



FLOOR PLAN NOTES

- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR ALL ITEMS IN CONTRACT, AS WELL AS ITEMS NOTED WHICH ARE IDENTIFIED AS NOT IN CONTRACT (NIC) OR ITEMS WHICH ARE OWNER-PROVIDED OR VENDOR-PROVIDED. SUCH ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, SIGNAGE, VISUAL BOARD UNITS, CONFERRING TRAYS, RAILS OR OTHER ACCESSORIES, BULLETIN BOARDS, DISPLAY CASES, COMPUTER OR TELEVISION DISPLAYS, MONITORS, SECURITY CAMERAS, WIRELESS ACCESS POINTS, LOCKERS, AND OTHER CASEWORK OR EQUIPMENT.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED.
- CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS, AND FLOOR ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- ALL EXISTING CONSTRUCTION REMAINING BUT AFFECTED BY THE WORK UNDER THIS CONTRACT SHALL BE RESTORED AND REFINISHED TO MATCH THE MATERIALS, FINISH AND ALIGNMENT OF THE EXISTING ADJACENT CONSTRUCTION.
- COORDINATE QUANTITY, SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL OPENINGS FOR MECHANICAL AND ELECTRICAL WORK FOR A COMPLETE INSTALLATION. PROVIDE OPENINGS SHOWN OR REQUIRED FOR COMPLETION OF WORK.
- COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH APPROPRIATE TRADES.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, NOMINAL FINISH FACE OF CONCRETE, OR NOMINAL FACE OF MASONRY UNLESS OTHERWISE NOTED.
- DIMENSIONS IN ROOMS WITH WALL TILE ARE TO FACE OF TILE SURFACE TYPICAL, UNLESS OTHERWISE NOTED, WITH THICKNESS OF TILE AND SETTING BED BEING IDENTIFIED NOMINALLY AS 1/2". IF TILE AND SETTING BED IS THICKER THAN 1/2", PARTITION LAYOUT TO BE ADJUSTED ACCORDINGLY.
- WHERE FIRE RATED PARTITIONS TERMINATE AT EXTERIOR WALLS, PROVIDE FIRE SAFING (UL LISTED) INSULATION FROM END OF PARTITION TO INTERIOR FACE OF EXTERIOR SHEATHING, 5" DEPTH X FULL HEIGHT OF CONSTRUCTION (TYPICAL).
- WHERE SOUND INSULATED PARTITIONS TERMINATE AT EXTERIOR WALL ASSEMBLIES, EXTEND GYPSUM BOARD, ISOLATION CHANNELS, AND SOUND ATTENUATING INSULATION AS SCHEDULED, TO INSIDE FACE OF EXTERIOR SHEATHING, AND SEAL JOINT AT SHEATHING WITH ACOUSTICAL SEALANT.
- FOR ADDITIONAL INTERIOR FINISHES WHICH MAY IMPACT DIMENSIONS, REFER TO FINISH PLANS/SCHEDULES.
- WHERE INTERIOR PARTITIONS ABUT WINDOW SYSTEMS, ALIGN CENTERLINES OF PARTITIONS WITH CENTERLINES OF VERTICAL WINDOW MULLIONS, UNLESS OTHERWISE NOTED.
- PROVIDE CONTINUOUS FIRE RATED CONSTRUCTION BEHIND RECESSED FIXTURES IN FIRE PARTITIONS, FIRE BARRIERS AND FIRE WALLS.
- PROVIDE FIREPROOFING CONTINUITY WITH EXISTING CONDITIONS, USING LIKE SYSTEMS AS EXISTING, WHERE REQUIRED. VERIFY CONSTRUCTION OF EXISTING ELEMENTS IDENTIFIED AS FIRE RATED AND REPORT CONDITIONS NEGATIVELY IMPACTING RATING OF ELEMENT TO ARCHITECT.
- PATCH AND REPAIR EXISTING PARTITIONS AT REMOVED RECESSED ITEMS AND AT NEW DOOR OPENINGS. CUT BACK EXISTING GYPSUM BOARD TO NEXT STUD. JOINT BETWEEN NEW AND EXISTING GYPSUM BOARD SHALL BE SECURED TO A COMMON OR SISTERED STUD.
- PATCH AND REPAIR EXISTING CONCRETE SLAB AND/OR DECK AT REMOVED FLOOR DRAINS, WATER CLOSETS, DUCT PENETRATIONS AND OTHER REMOVED UTILITIES. PROVIDE CONCRETE IN THICKNESS REQUIRED TO MAINTAIN FIRE RATING OF FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED REINFORCEMENT OR ANCHORING. REPAIR OR INSTALL FIREPROOFING UNDER SLAB AS REQUIRED TO MATCH EXISTING CONSTRUCTION OR AS REQUIRED BY AHJ.
- LEVEL AND SCARIFY EXISTING SLABS TO PROVIDE ACCEPTABLE SUBSTRATE FOR SCHEDULED FLOORING. REFER TO FINISH PLANS/SCHEDULES AND SPECIFICATIONS FOR PREPARATION OF FLOORS TO RECEIVE NEW FINISHES.

FLOOR PLAN LEGEND

- COL NEW STRUCTURAL GRID LINE
- COL EXISTING STRUCTURAL GRID LINE
- DOOR MARK
- NEW DOOR
- 5" TO DOOR OPENING - TYP (UON)
- WINDOW MARK
- HWBA PARTITION TYPE (SEE PARTITION TYPES SHEET)
- ROOM NAME ROOM NAME & NUMBER
- 101
- FLOOR DRAIN (FD)
- TRENCH DRAIN (TD)
- F.E.C. FIRE EXTINGUISHER CABINET

FIRE RATING LEGEND

- SMOKE BARRIER
- 1 HOUR BARRIER
- 2 HOUR BARRIER
- 3 HOUR BARRIER

SECTOR A
 APPROVED SQ. FT = 19,419 SFT
 (NO CHANGE)

SECTOR B
 PROPOSED SQUARE FOOT = 8671 SFT
 CHANGE = 1365 SFT

*NOTE
 DIMENSION CHANGED FROM 38'-0" TO 44'-0"
 DIMENSION CHANGED FROM 35'-0" TO 50'-0"



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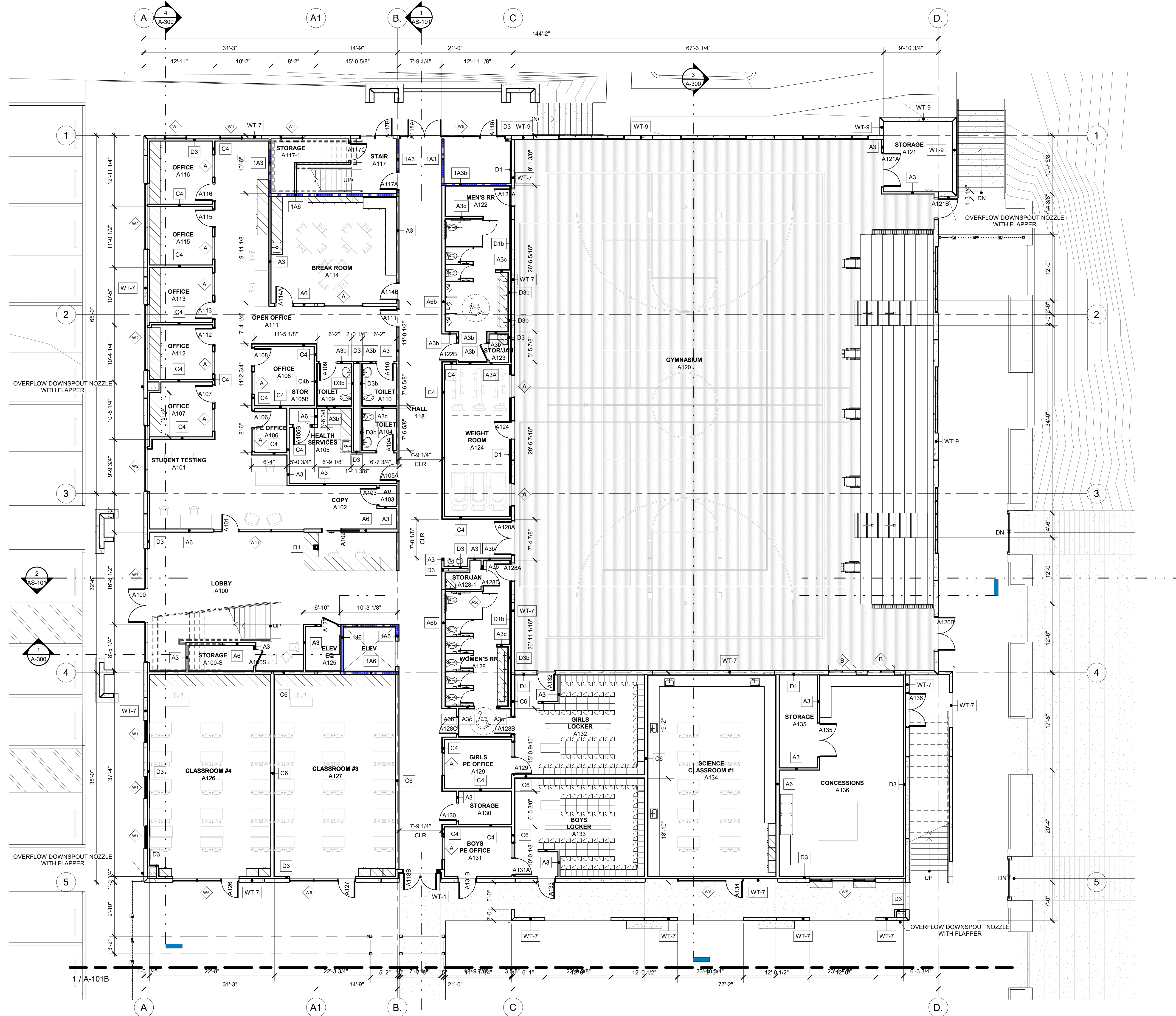
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Level 1 Plan - Overall

A-101

LEVEL 1 PLAN - OVERALL
 3/32" = 1'-0"

APPROVED
 Oct 25, 2021
 PLANNING & DEVELOPMENT SERVICES



LEVEL 1 PLAN - SECTOR A
 1/8" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR ALL ITEMS IN CONTRACT, AS WELL AS ITEMS NOTED WHICH ARE IDENTIFIED AS NOT IN CONTRACT (N/C) OR ITEMS WHICH ARE OWNER-PROVIDED OR VENDOR-PROVIDED. SUCH ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, SIGNAGE, VISUAL BOARD UNITS, CONFERRING TRAYS, RAILS OR OTHER ACCESSORIES, BULLETIN BOARDS, DISPLAY CASES, COMPUTER OR TELEVISION DISPLAYS, MONITORS, SECURITY CAMERAS, WIRELESS ACCESS POINTS, LOCKERS, AND OTHER CASEWORK OR EQUIPMENT.
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- COORDINATE QUANTITY, SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL OPENINGS FOR MECHANICAL AND ELECTRICAL WORK FOR A COMPLETE INSTALLATION. PROVIDE OPENINGS SHOWN OR REQUIRED FOR COMPLETION OF WORK.
- COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH APPROPRIATE TRADES.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, NOMINAL FINISH FACE OF CONCRETE, OR NOMINAL FACE OF MASONRY UNLESS OTHERWISE NOTED.
- DIMENSIONS IN ROOMS WITH WALL TILE ARE TO FACE OF TILE SURFACE TYPICAL, UNLESS OTHERWISE NOTED, WITH THICKNESS OF TILE AND SETTING BED BEING IDENTIFIED NOMINALLY AS "1/2". IF TILE AND SETTING BED IS THICKER THAN "1/2", PARTITION LAYOUT TO BE ADJUSTED ACCORDINGLY.
- WHERE FIRE RATED PARTITIONS TERMINATE AT EXTERIOR WALLS, PROVIDE FIRE SAFING (UL LISTED) INSULATION FROM END OF PARTITION TO INTERIOR FACE OF EXTERIOR SHEATHING, 5" DEPTH X FULL HEIGHT OF CONSTRUCTION (TYPICAL).
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FLOOR PLAN LEGEND

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- EXISTING STRUCTURAL GRID LINE
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- NEW DOOR
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Level 1 Plan - Sector A

A-101A

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FLOOR PLAN NOTES

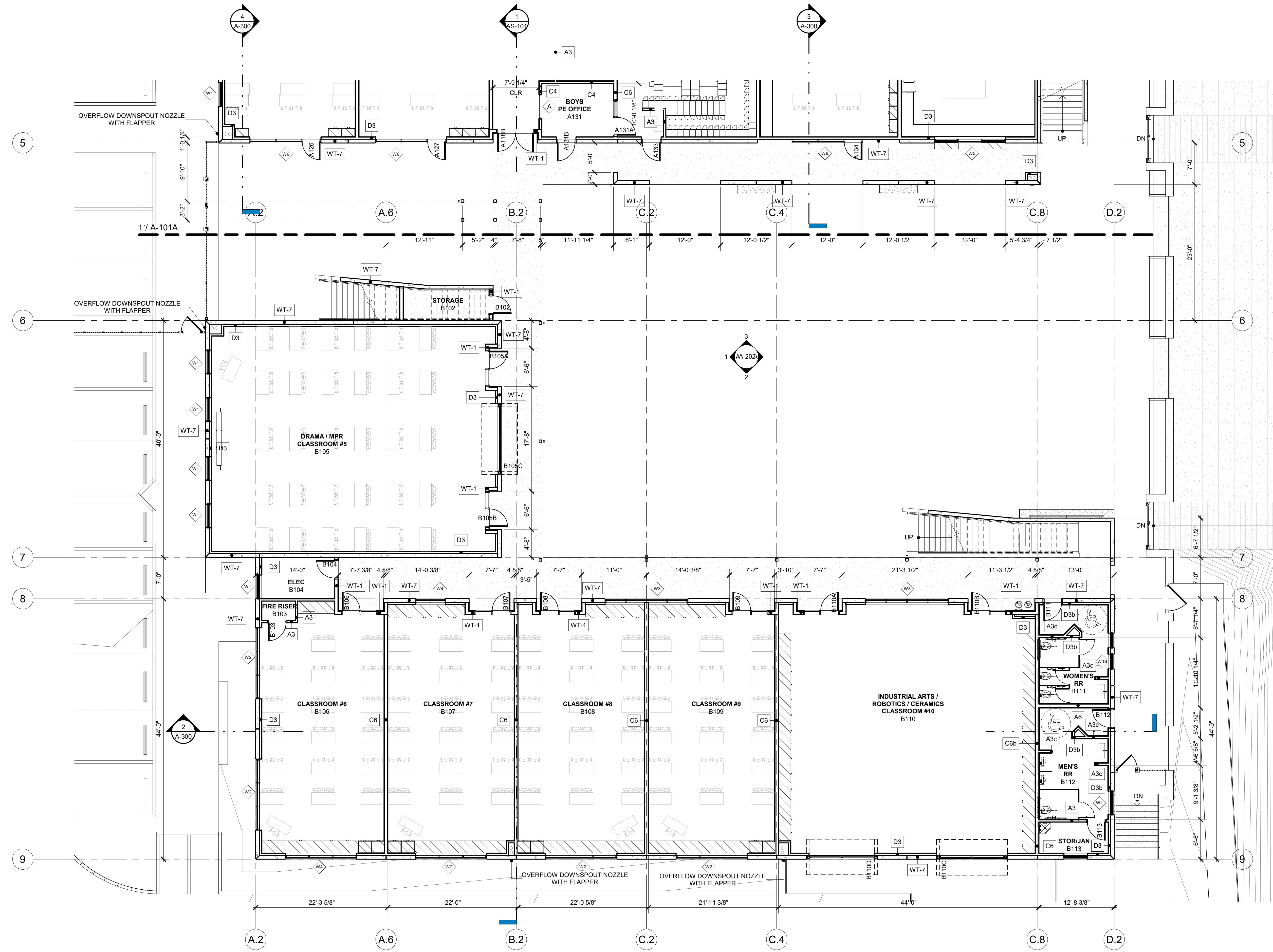
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- WHERE SOUND INSULATED PARTITIONS TERMINATE AT EXTERIOR WALL ASSEMBLIES, EXTEND GYPSUM BOARD, ISOLATION CHANNELS, AND SOUND ATTENUATING INSULATION AS SCHEDULED, TO INSIDE FACE OF EXTERIOR SHEATHING, AND SEAL JOINT AT SHEATHING WITH ACOUSTICAL SEALANT.
- FOR ADDITIONAL INTERIOR FINISHES WHICH MAY IMPACT DIMENSIONS, REFER TO FINISH PLANS/SCHEDULES.
- WHERE INTERIOR PARTITIONS ABUT WINDOW SYSTEMS, ALIGN CENTERLINES OF PARTITIONS WITH CENTERLINES OF VERTICAL WINDOW MULLIONS, UNLESS OTHERWISE NOTED.
- PROVIDE CONTINUOUS FIRE RATED CONSTRUCTION BEHIND RECESSED FIXTURES IN FIRE PARTITIONS, FIRE BARRIERS AND FIRE WALLS.
- PROVIDE FIREPROOFING CONTINUITY WITH EXISTING CONDITIONS, USING LIKE SYSTEMS AS EXISTING, WHERE REQUIRED. VERIFY CONSTRUCTION OF EXISTING ELEMENTS IDENTIFIED AS FIRE RATED AND REPORT CONDITIONS NEGATIVELY IMPACTING RATING OF ELEMENT TO ARCHITECT.
- PATCH AND REPAIR EXISTING PARTITIONS AT REMOVED RECESSED ITEMS AND AT NEW DOOR OPENINGS. CUT BACK EXISTING GYPSUM BOARD TO NEXT STUD. JOINT BETWEEN NEW AND EXISTING GYPSUM BOARD SHALL BE SECURED TO A COMMON OR SISTERED STUD.
- PATCH AND REPAIR EXISTING CONCRETE SLAB AND/OR DECK AT REMOVED FLOOR DRAINS, WATER CLOSETS, DUCT PENETRATIONS AND OTHER REMOVED UTILITIES. PROVIDE CONCRETE IN THICKNESS REQUIRED TO MAINTAIN FIRE RATING OF FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED REINFORCEMENT OR ANCHORING. REPAIR OR INSTALL FIREPROOFING UNDER SLAB AS REQUIRED TO MATCH EXISTING CONSTRUCTION OR AS REQUIRED BY AHJ.
- LEVEL AND SCARIFY EXISTING SLABS TO PROVIDE ACCEPTABLE SUBSTRATE FOR SCHEDULED FLOORING. REFER TO FINISH PLANS/SCHEDULES AND SPECIFICATIONS FOR PREPARATION OF FLOORS TO RECEIVE NEW FINISHES.



Liberty High Charter School

EL CAJON, CA

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09/08/21	MINOR DEVIATION PERMIT



FLOOR PLAN LEGEND

- NEW STRUCTURAL GRID LINE
- EXISTING STRUCTURAL GRID LINE
- DOOR MARK
- NEW DOOR
- 5' TO DOOR OPENING - TYP (UON)
- WINDOW MARK
- PARTITION TYPE (SEE PARTITION TYPES SHEET)
- ROOM NAME & NUMBER
- FLOOR DRAIN (FD)
- TRENCH DRAIN (TD)
- FIRE EXTINGUISHER CABINET

FIRE RATING LEGEND

- SMOKE BARRIER
- 1 HOUR BARRIER
- 2 HOUR BARRIER
- 3 HOUR BARRIER

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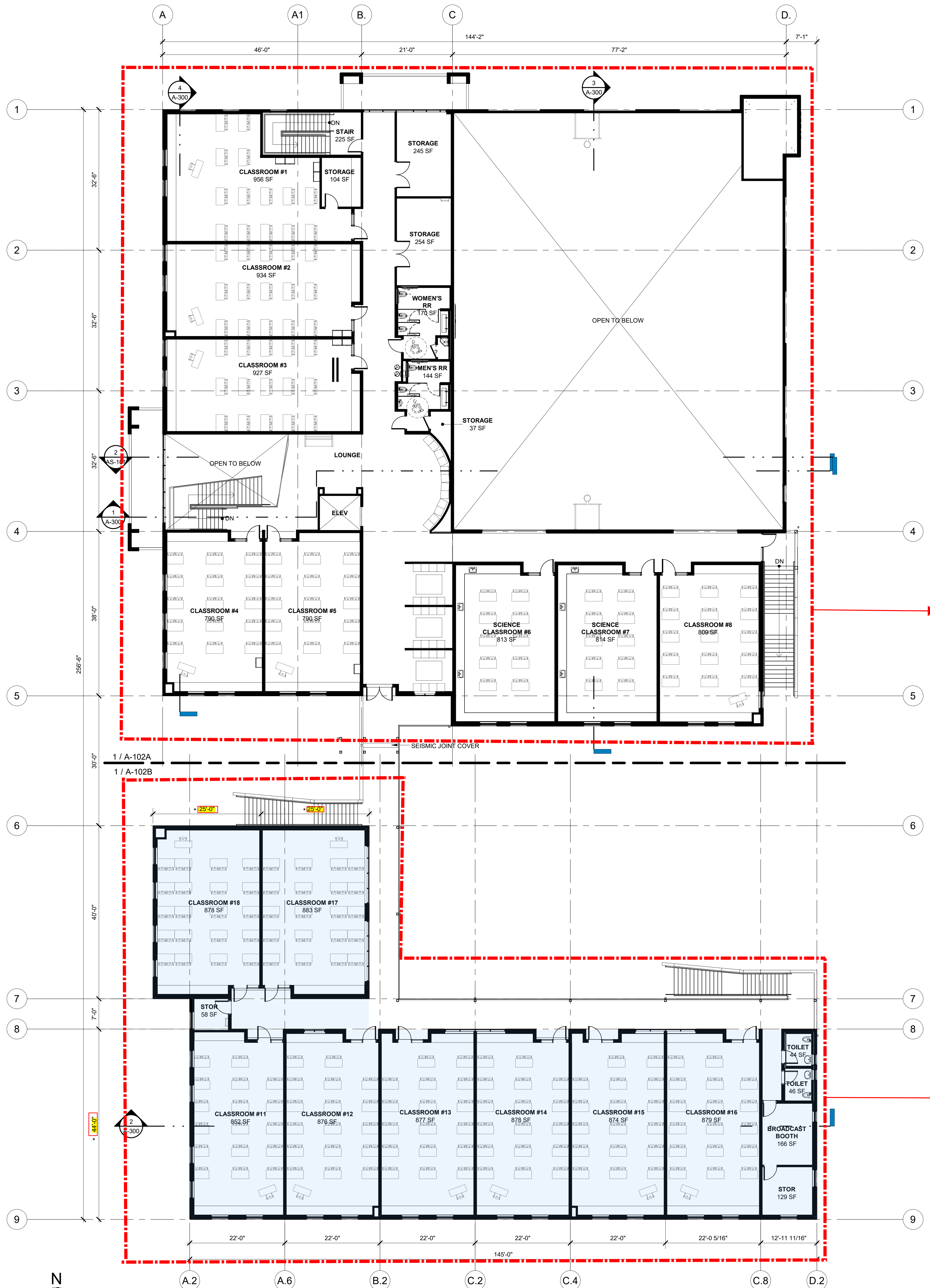
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Level 1 Plan - Sector B

A-101B

APPROVED
 OCT 25, 2021
 PLANNING & DEVELOPMENT SERVICES



SECTOR A
APPROVED SQ. FT = 11,666 SFT
(NO CHANGE)

SECTOR B
PROPOSED SQUARE FOOT = 8671 SFT
CHANGE = 1365 SFT

*NOTE
DIMENSION CHANGED FROM 38'-0" TO 44'-0"
DIMENSION CHANGED FROM 35'-0" TO 50'-0"

FLOOR PLAN NOTES

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- DO NOT SCALE DRAWINGS. USE DIMENSIONS INDICATED.
- CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS, AND FLOOR ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
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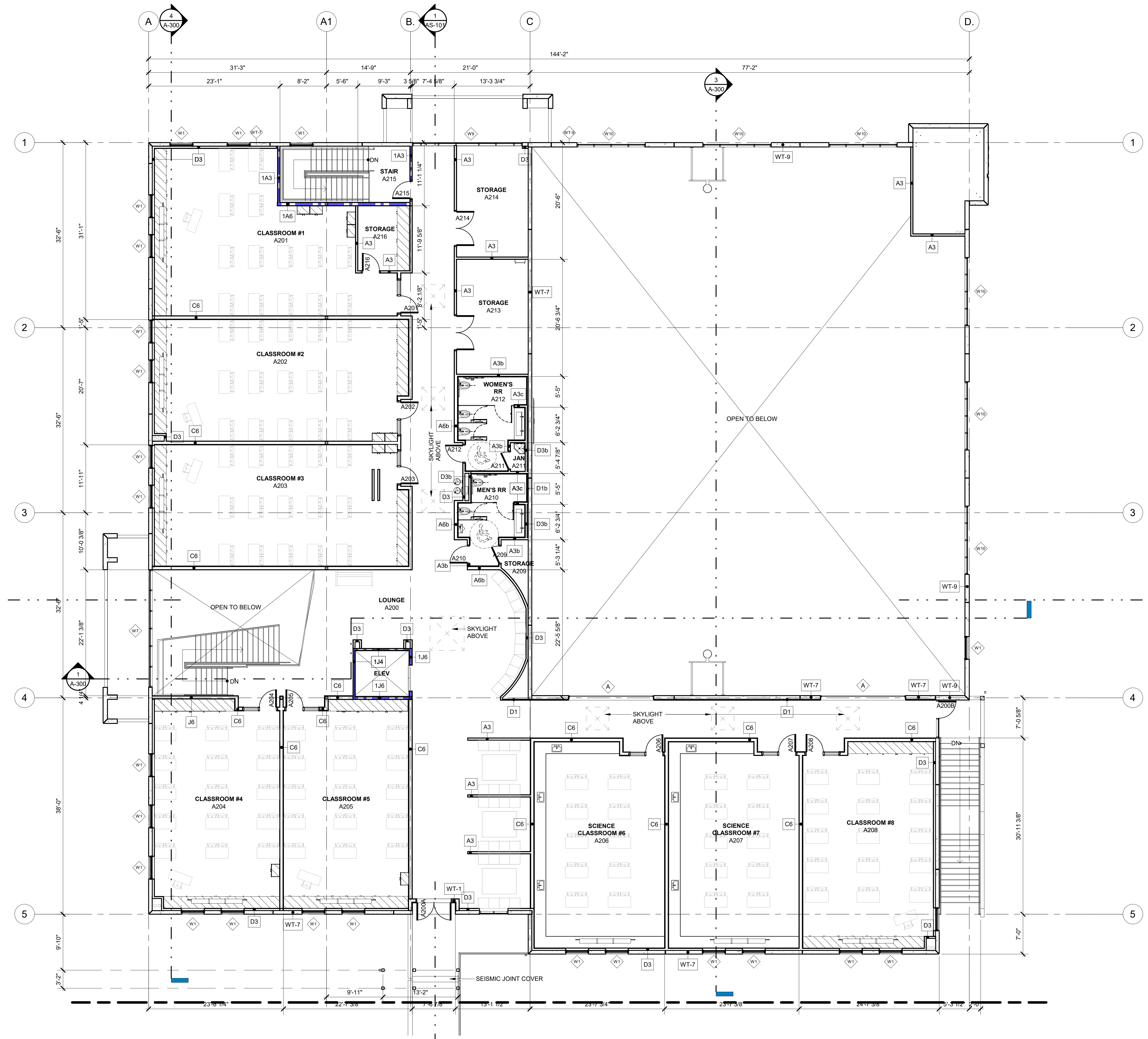
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Level 2 Plan - Overall

A-102

LEVEL 2 PLAN - OVERALL
3/32" = 1'-0"

APPROVED
Oct 26, 2021
PLANNING DEPARTMENT SERVICES



N
LEVEL 2 PLAN - SECTOR A
 1/8" = 1'-0"

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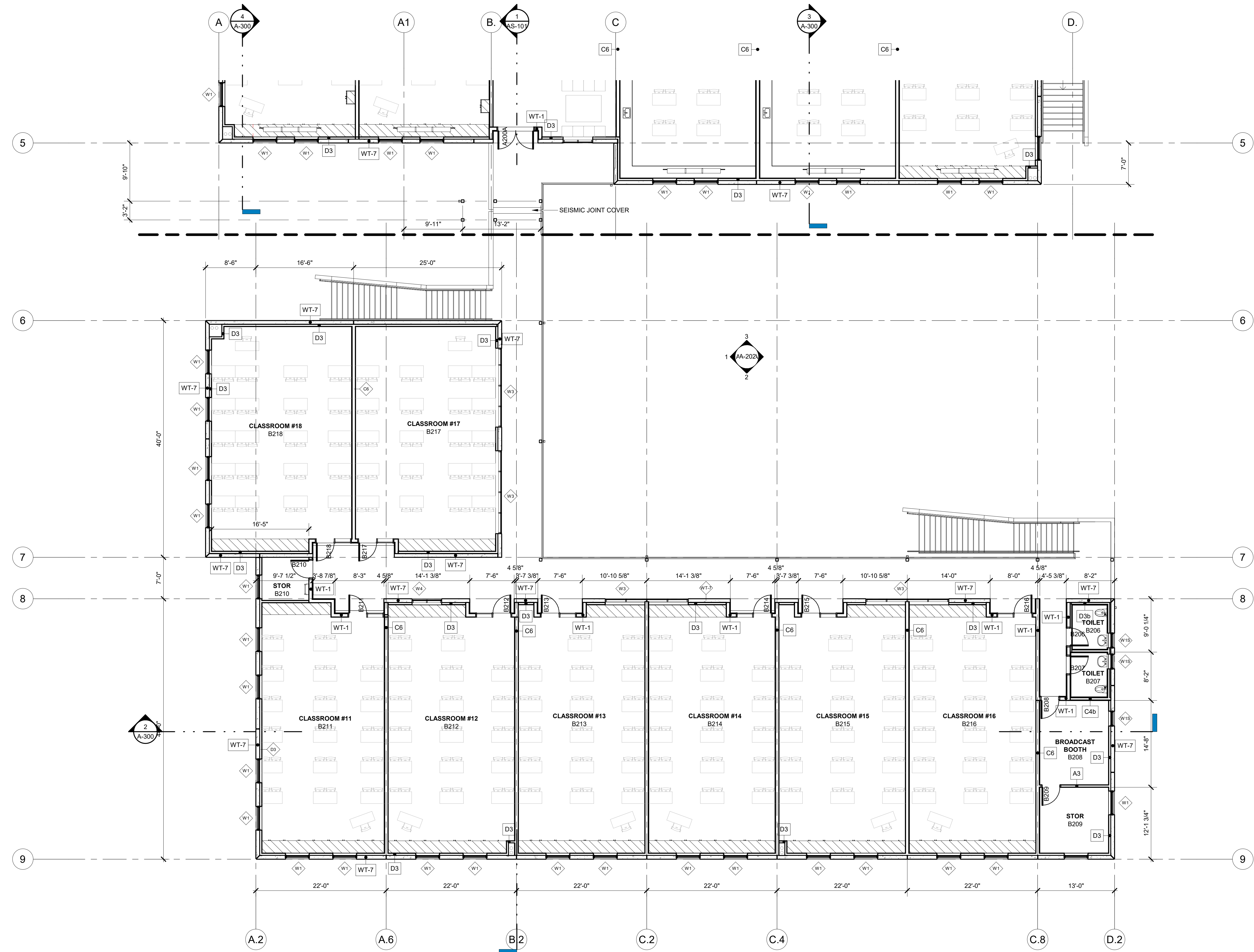
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Level 2 Plan - Sector A

APPROVED
 Oct 25, 2021
 PLANNING & DEVELOPMENT SERVICES

A-102A

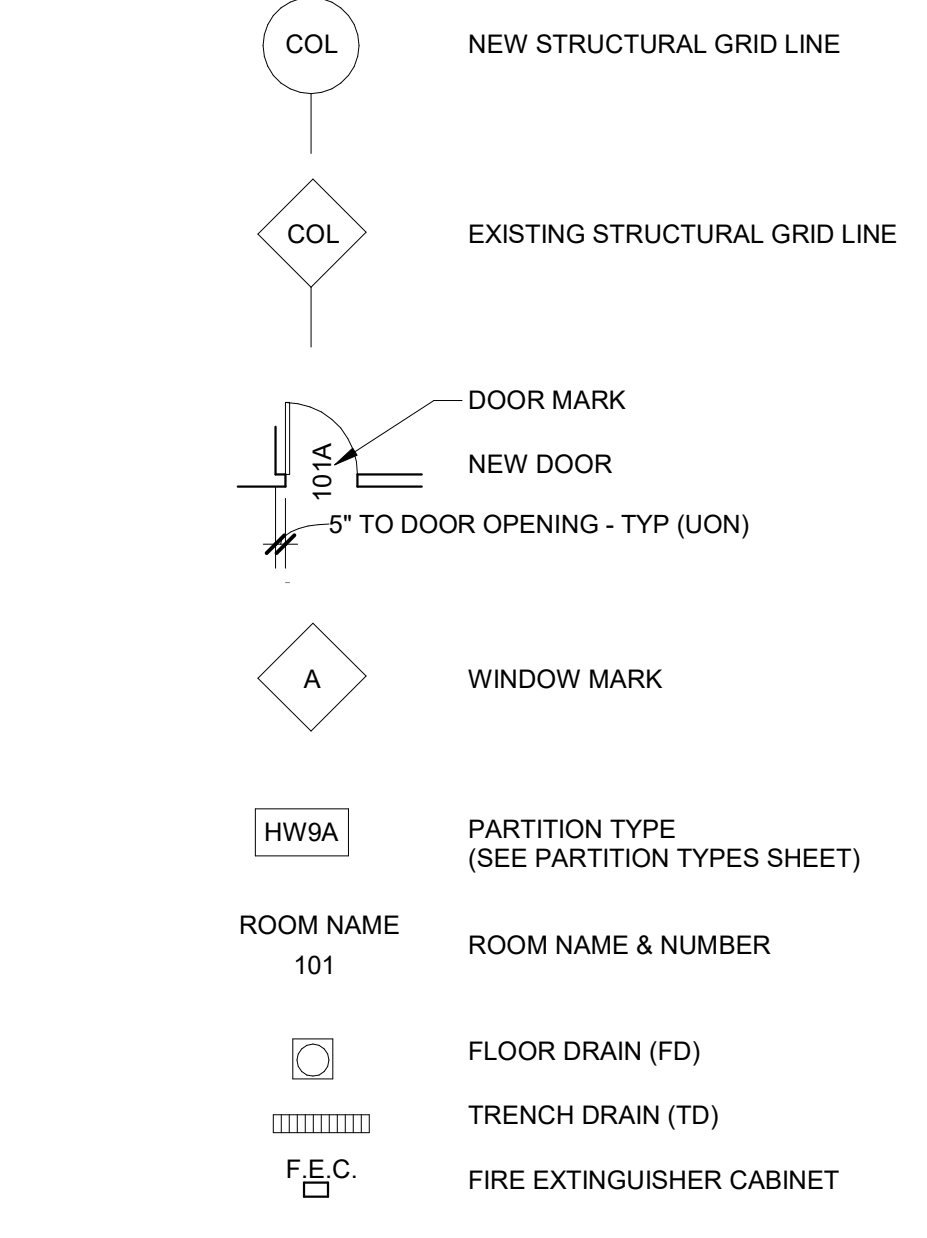


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LEVEL 2 PLAN - SECTOR B
 1/8" = 1'-0"

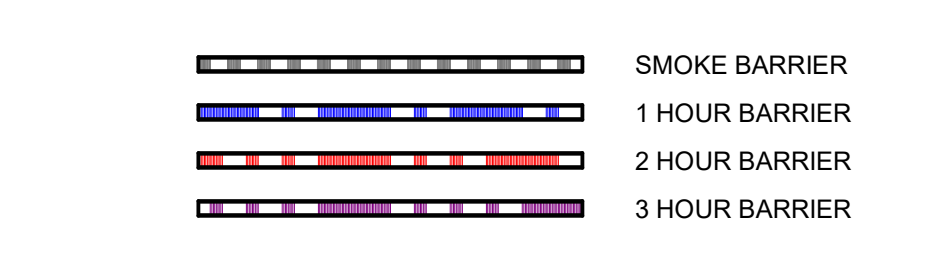
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FLOOR PLAN LEGEND



FIRE RATING LEGEND



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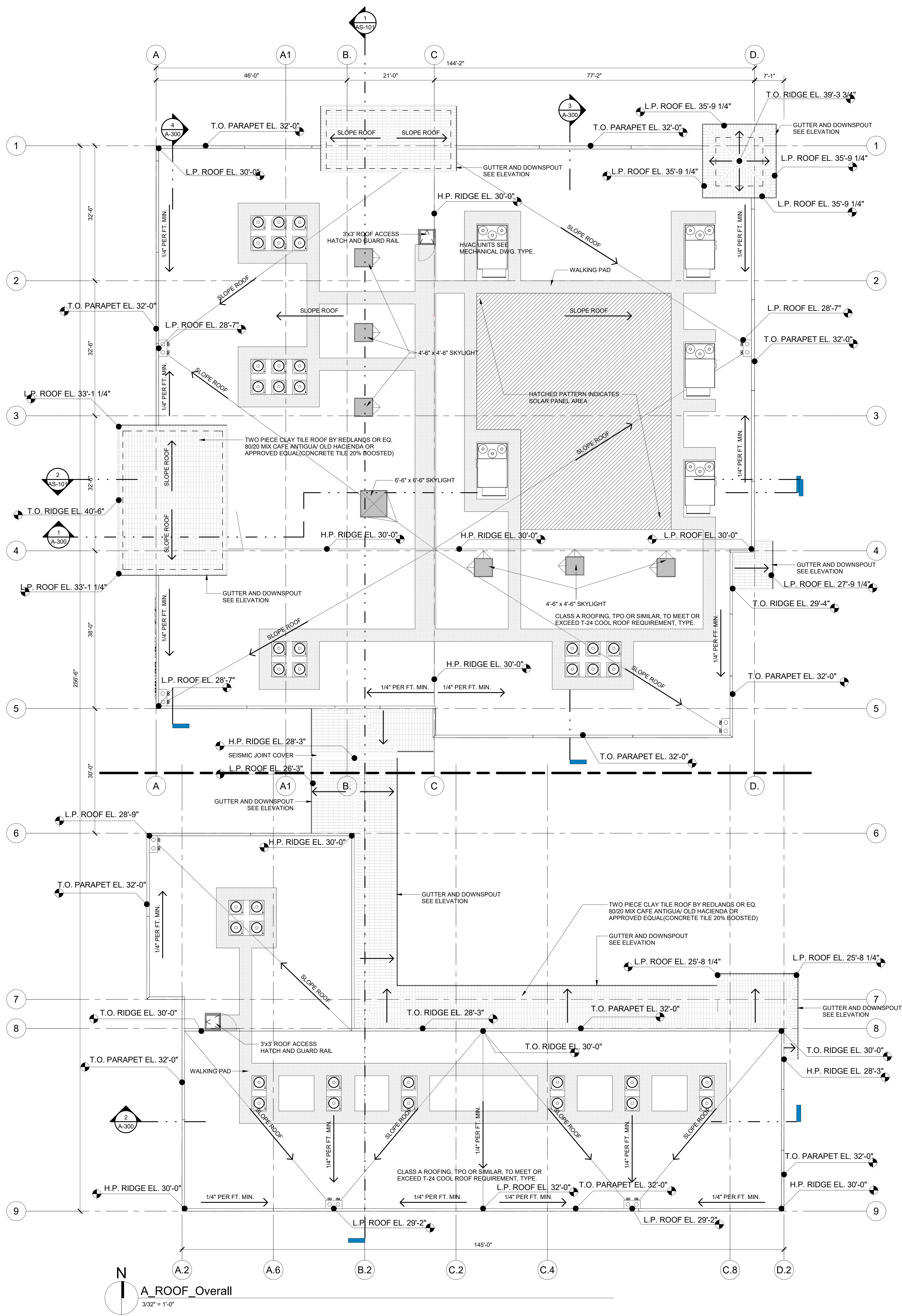
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Level 2 Plan - Sector B

APPROVED
 Oct 25, 2021
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A-102B

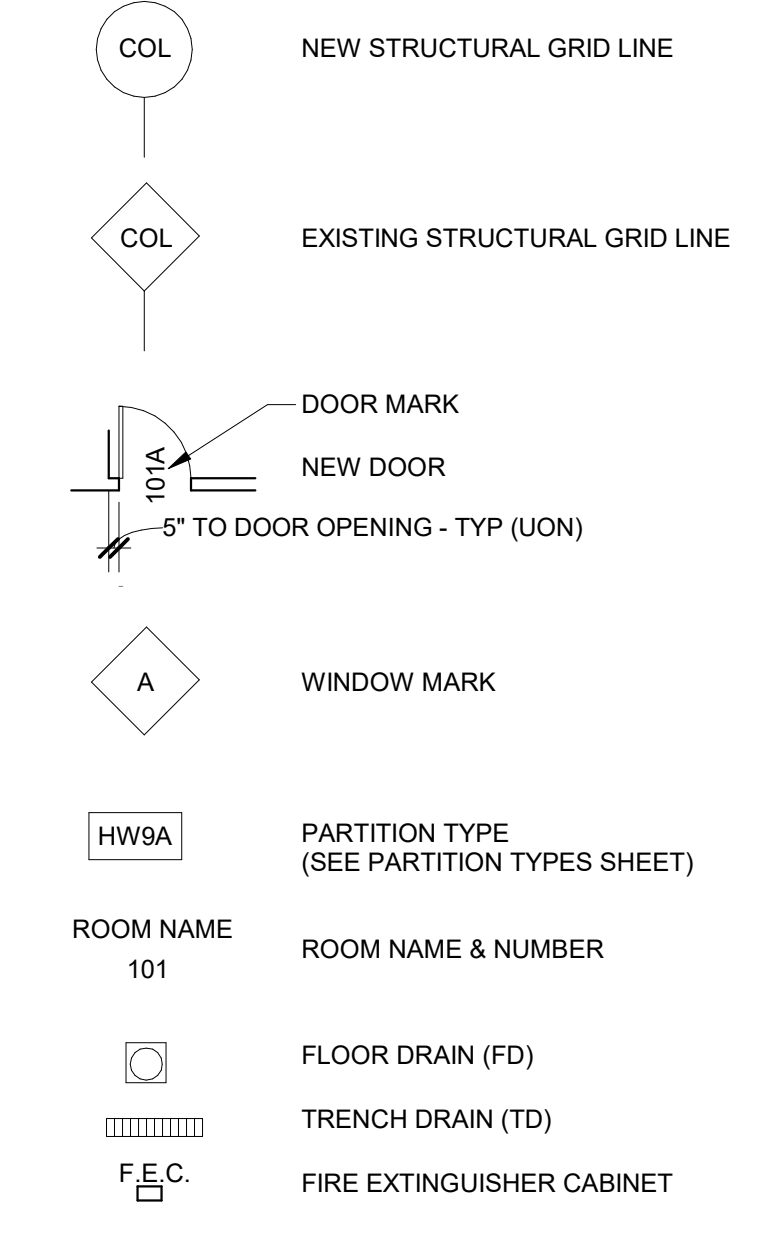


A ROOF Overall
3/32" = 1'-0"

ROOF PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY ROOF MATERIAL THAT BECOMES DAMAGED.
- ANY WOOD TO BE USED TO APPLY THE ROOFING SYSTEM MUST BE PRESSURE TREATED MATERIAL.
- A CLASS 'A' ROOFING ASSEMBLY SHALL BE INSTALLED.
- ROOF AND OVERFLOW ROUTING AND HEIGHTS TO BE APPROVED BY ARCHITECT.
- MIN. 1/4" PER FT. SLOPE SHALL BE MAINTAINED FOR ROOF AREAS.
- REFER TO PLUMBING DRAWINGS FOR ALL ROOF DRAIN AND ROOF PIPE SIZES.
- REFER TO SITE PLAN AND FIRST FLOOR PLAN FOR ROOF DRAIN PIPE EXITING.
- "L.P." DENOTES LOW POINT OF FINISH ROOF SURFACE, SEE STRUCTURAL FOR TOP OF SHEATHING.
- "H.P." DENOTES HIGH POINT OF FINISH ROOF SURFACE, SEE STRUCTURAL FOR TOP OF SHEATHING.
- "T.O." DENOTES ELEVATIONS AT THE TOP OF PARAPET - FROM FINISH FLOOR SLAB.
- "0.00" DENOTES FINISH SURFACE OF ROOF ELEVATIONS - FROM FINISH FLOOR SLAB, SEE STRUCTURAL PLANS FOR TOP OF SHEATHING.
- ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.
- SEE STRUCTURAL DRAWINGS FOR ROOF DRAIN FRAMING.
- FIRE SPRINKLER LINES, HEADS, WATER LINES, ROOF DRAIN HORIZONTALS, ETC., SHALL BE ABOVE BOTTOM CHORD OF GIRDERS / TRUSSES TYP. SEE SPECS FOR ADDITIONAL INFORMATION.
- ALL HORIZONTAL ROOF DRAIN PIPES AND OVERFLOW DRAIN PIPES SHALL MAINTAIN A MINIMUM CLEAR HEIGHT OF 3'-6" A.F.F. IN CONDITIONED AREA(S). ALL ROOF DRAIN VERTICAL PIPES SHALL BE CONCEALED AND MOUNTED INSIDE WALL CAVITY.
- WHERE OCCURS PER MECHANICAL DRAWINGS. ALL DUCTWORK THAT PENETRATES ROOF MEMBRANE - PROVIDE PRESSURE TREATED WOOD CURB AND USE MIN. 20 GA. GI. FLASHING, TYP PER. DETAIL: L/A02.1
- WHERE OCCURS PER MECHANICAL, PLUMBING AND ELECTRICAL DWGS. ALL PIPE THAT PENETRATES ROOF MEMBRANE, USE PIPE BOOT FLASHING OR MULTI PIPE PENETRATION PER. DETAIL: R/A02.1
- WHERE OCCURS PER MECHANICAL, PLUMBING AND ELECTRICAL DWGS. ATTACH HORIZONTAL PIPING, UNISTRUT AND CONDUITS TO ROOF MEMBRANE PER DETAIL: N/A02.1
- MECHANICAL UNITS ON PRE-FABRICATED CURB AND CAP FLASHING PER. DETAIL: A/A02.1
- MECHANICAL UNITS ON BUILT-UP PLATFORM PER. DETAIL: F/A02.1

FLOOR PLAN LEGEND



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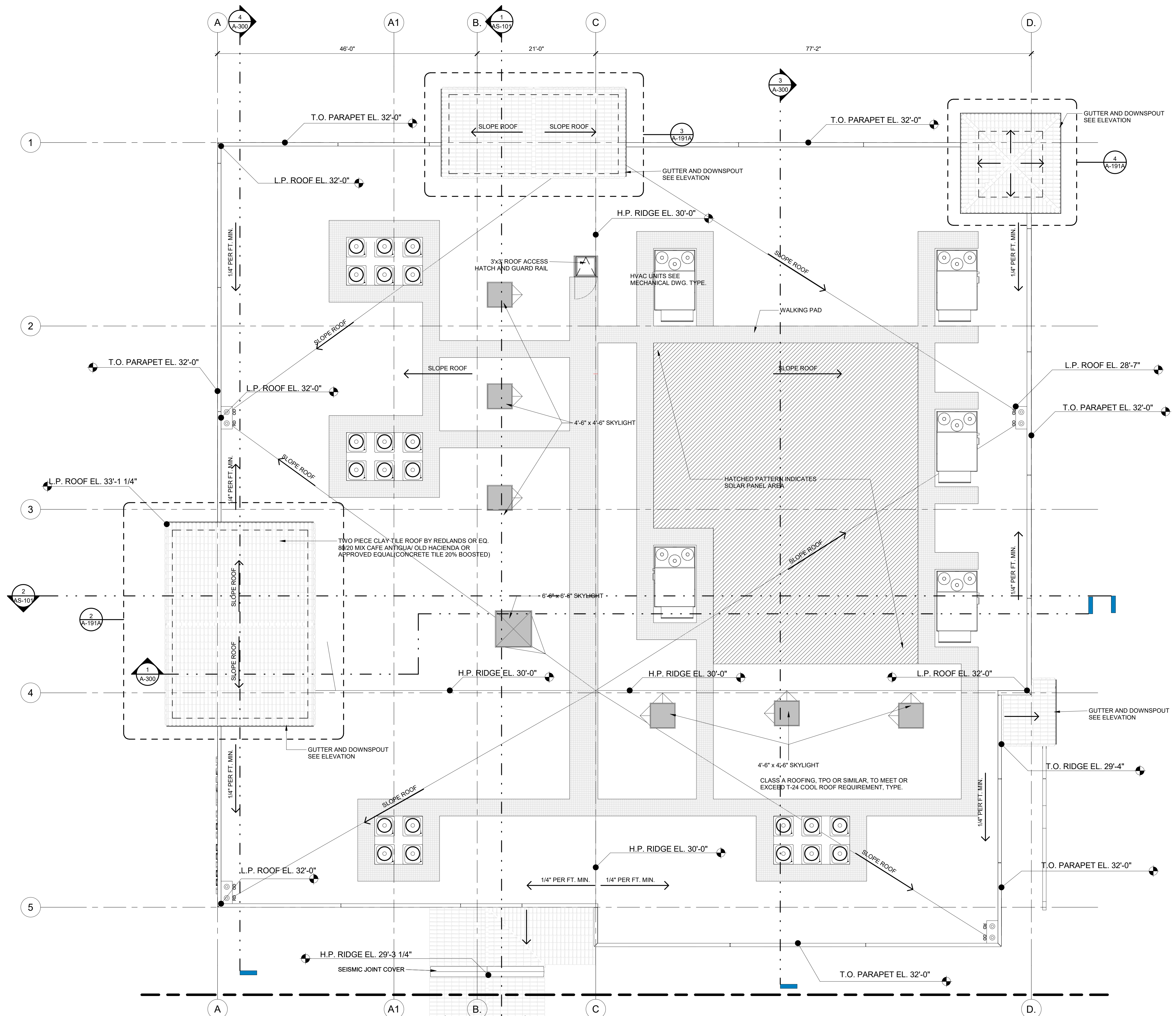
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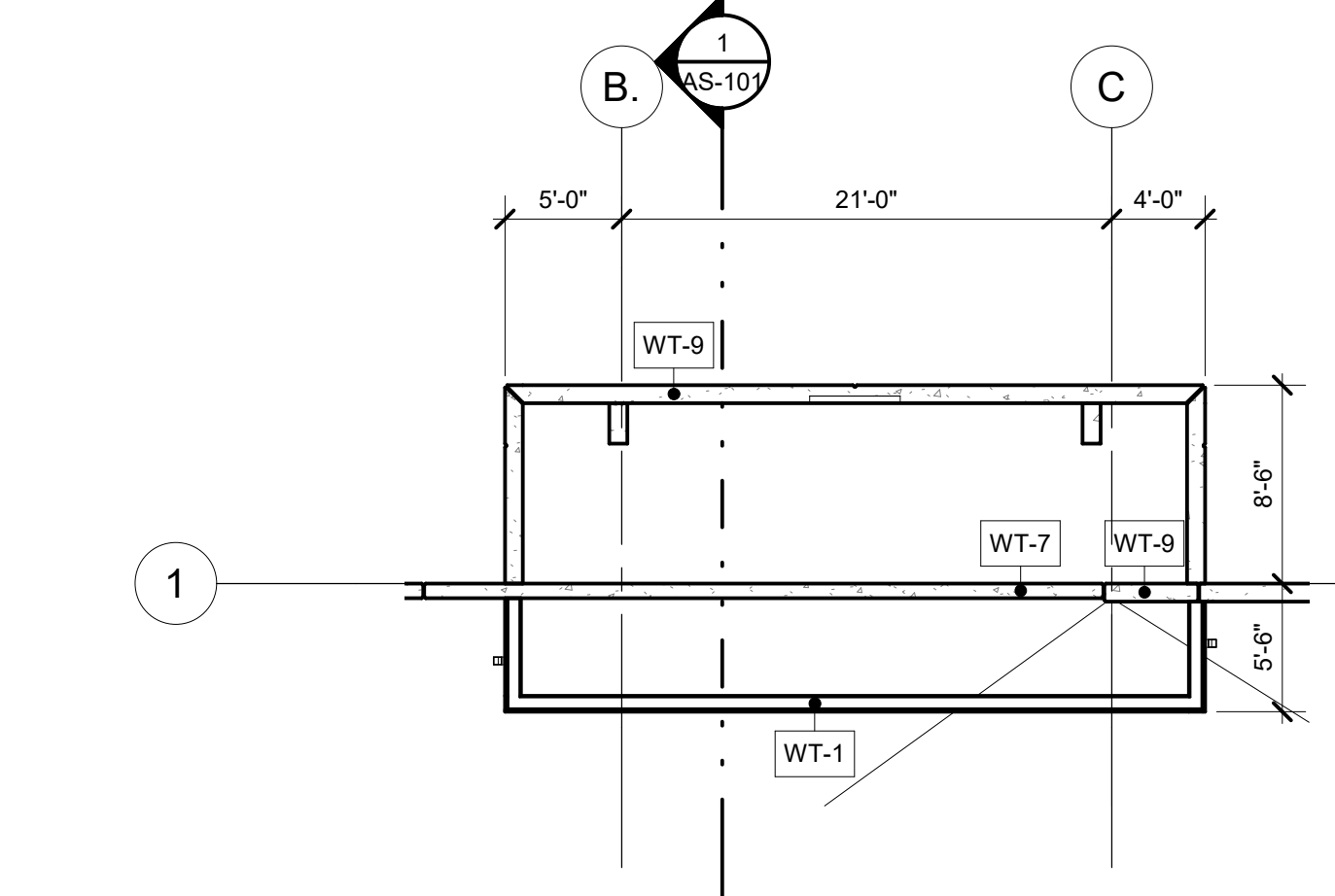
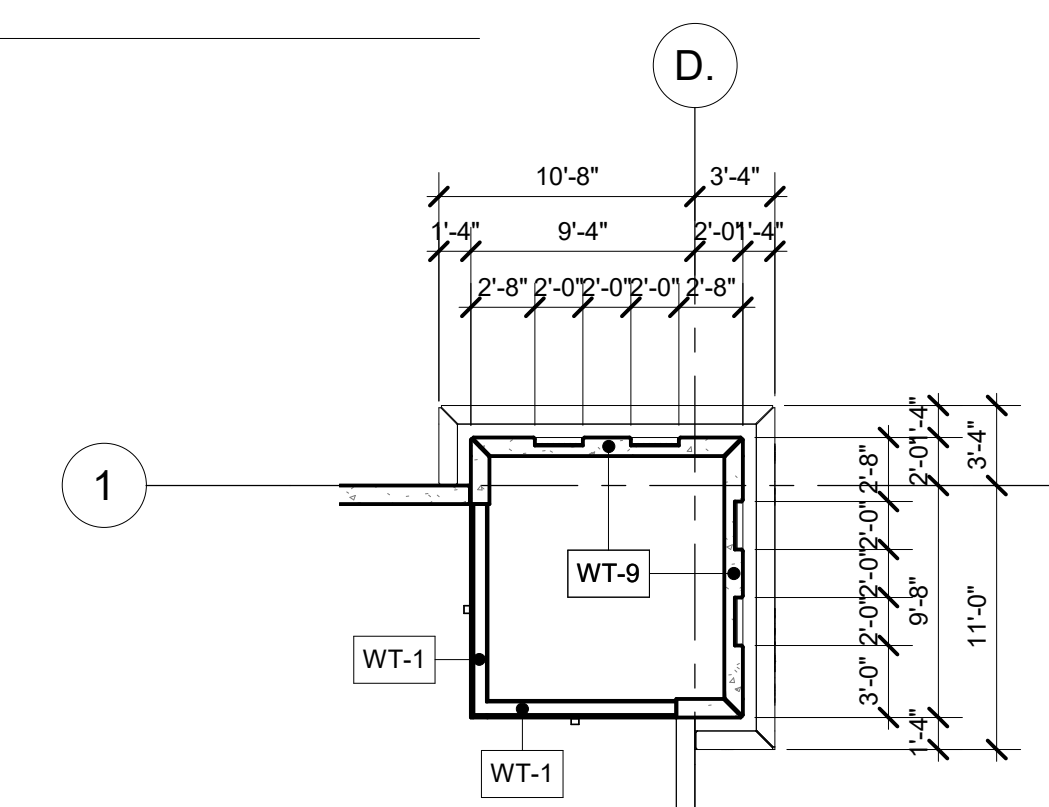
Roof Plan - Overall

A-191

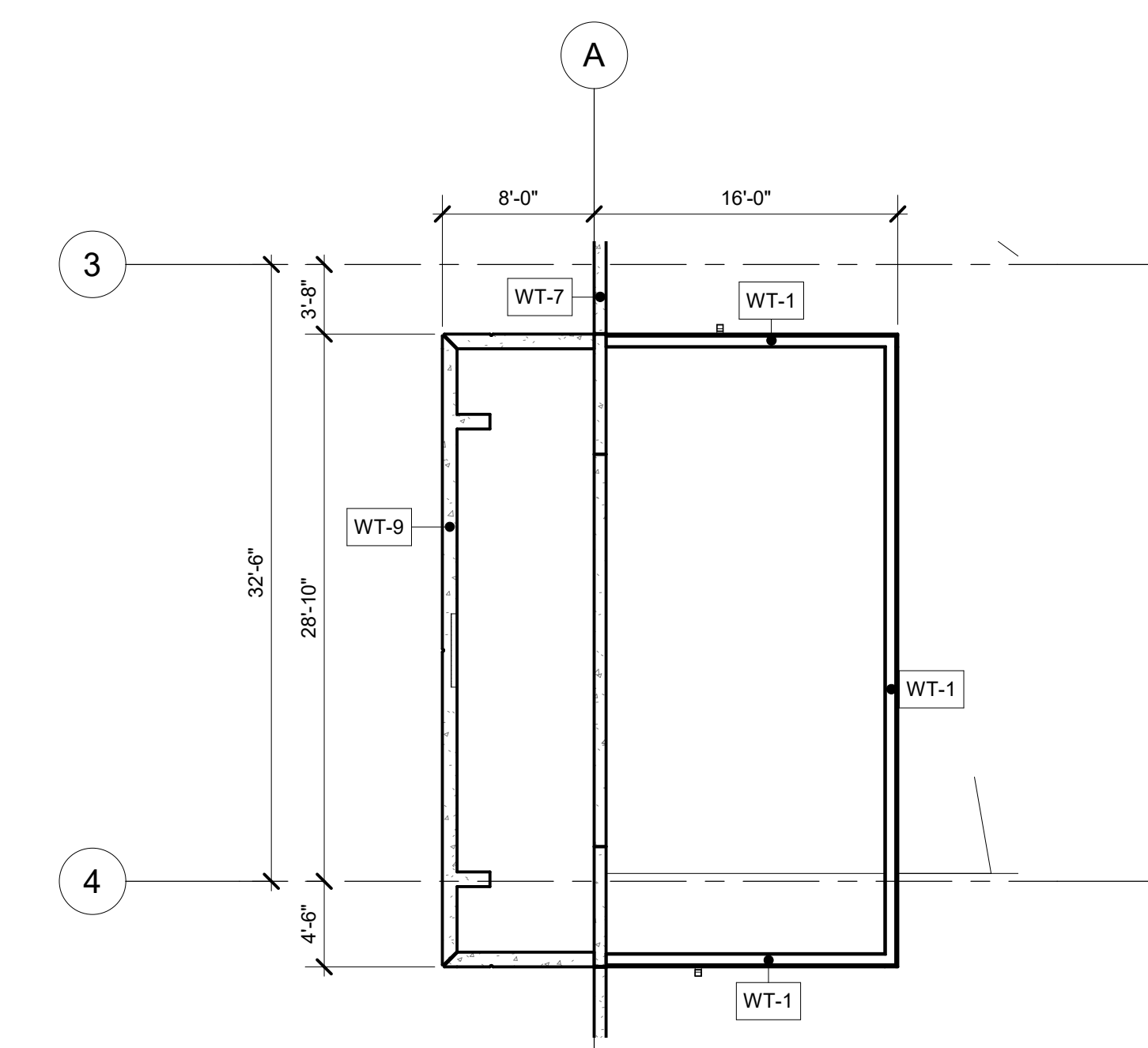
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PLANNING & DEVELOPMENT SERVICES



ROOF PLAN - SECTOR A
1/8" = 1'-0"



ROOF HIGH PLAN
1/8" = 1'-0"



ROOF PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ANY ROOF MATERIAL THAT BECOMES DAMAGED.
- ANY WOOD TO BE USED TO APPLY THE ROOFING SYSTEM MUST BE PRESSURE TREATED MATERIAL.
- A CLASS 'A' ROOFING ASSEMBLY SHALL BE INSTALLED.
- ROOF AND OVERFLOW ROUTING AND HEIGHTS TO BE APPROVED BY ARCHITECT.
- MIN. 1/4" PER FT. SLOPE SHALL BE MAINTAINED FOR ROOF AREAS.
- REFER TO PLUMBING DRAWINGS FOR ALL ROOF DRAIN AND ROOF PIPE SIZES.
- REFER TO SITE PLAN AND FIRST FLOOR PLAN FOR ROOF DRAIN PIPE EXITING.
- "L.P." DENOTES LOW POINT OF FINISH ROOF SURFACE, SEE STRUCTURAL FOR TOP OF SHEATHING.
- "H.P." DENOTES HIGH POINT OF FINISH ROOF SURFACE, SEE STRUCTURAL FOR TOP OF SHEATHING.
- "T.O." DENOTES ELEVATIONS AT THE TOP OF PARAPET - FROM FINISH FLOOR SLAB.
- "0.00'" DENOTES FINISH SURFACE OF ROOF ELEVATIONS - FROM FINISH FLOOR SLAB, SEE STRUCTURAL PLANS FOR TOP OF SHEATHING.
- ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.
- SEE STRUCTURAL DRAWINGS FOR ROOF DRAIN FRAMING.
- FIRE SPRINKLER LINES, HEADS, WATER LINES, ROOF DRAIN HORIZONTALS, ETC. SHALL BE ABOVE BOTTOM CHORD OF GIRDERS / TRUSSES TYP. SEE SPECS FOR ADDITIONAL INFORMATION.
- ALL HORIZONTAL ROOF DRAIN PIPES AND OVERFLOW DRAIN PIPES SHALL MAINTAIN A MINIMUM CLEAR HEIGHT OF 32'-6" A.F.F. IN CONDITIONED AREA(S). ALL ROOF DRAIN VERTICAL PIPES SHALL BE CONCEALED AND MOUNTED INSIDE WALL CAVITY.
- WHERE OCCURS PER MECHANICAL DRAWINGS, ALL DUCTWORK THAT PENETRATES ROOF MEMBRANE - PROVIDE PRESSURE TREATED WOOD CURB AND USE MIN. 20 GA. GI. FLASHING, TYP PER DETAIL: LIAD2.1
- WHERE OCCURS PER MECHANICAL, PLUMBING AND ELECTRICAL DWGS. ALL PIPE THAT PENETRATES ROOF MEMBRANE, USE PIPE BOOT FLASHING OR MULTI PIPE PENETRATION PER DETAIL: R/AD2.1
- WHERE OCCURS PER MECHANICAL, PLUMBING AND ELECTRICAL DWGS. ATTACH HORIZONTAL PIPING, UNISTRUT AND CONDUITS TO ROOF MEMBRANE PER DETAIL: N/AD2.1
- MECHANICAL UNITS ON PRE-FABRICATED CURB AND CAP FLASHING PER DETAIL: A/AD2.1
- MECHANICAL UNITS ON BUILT-UP PLATFORM PER DETAIL: F/AD2.1



Liberty High Charter School

EL CAJON, CA

Date	Issued For
06/15/15	CLIENT REVIEW
06/30/15	CLIENT REVIEW
09/11/15	MUP SUBMITTAL
04/06/16	MUP RESUBMITTAL
02/10/17	MUP RESUBMITTAL
07/31/17	MUP RESUBMITTAL
02/08/18	MUP RESUBMITTAL
09/08/21	MINOR DEVIATION PERMIT

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San Diego, California
92101 USA
(619) 398-3800
WWW.HED.DESIGN

BD21-LF007-001

Roof Plan - Sector A

A-191A



ROOF PLAN NOTES

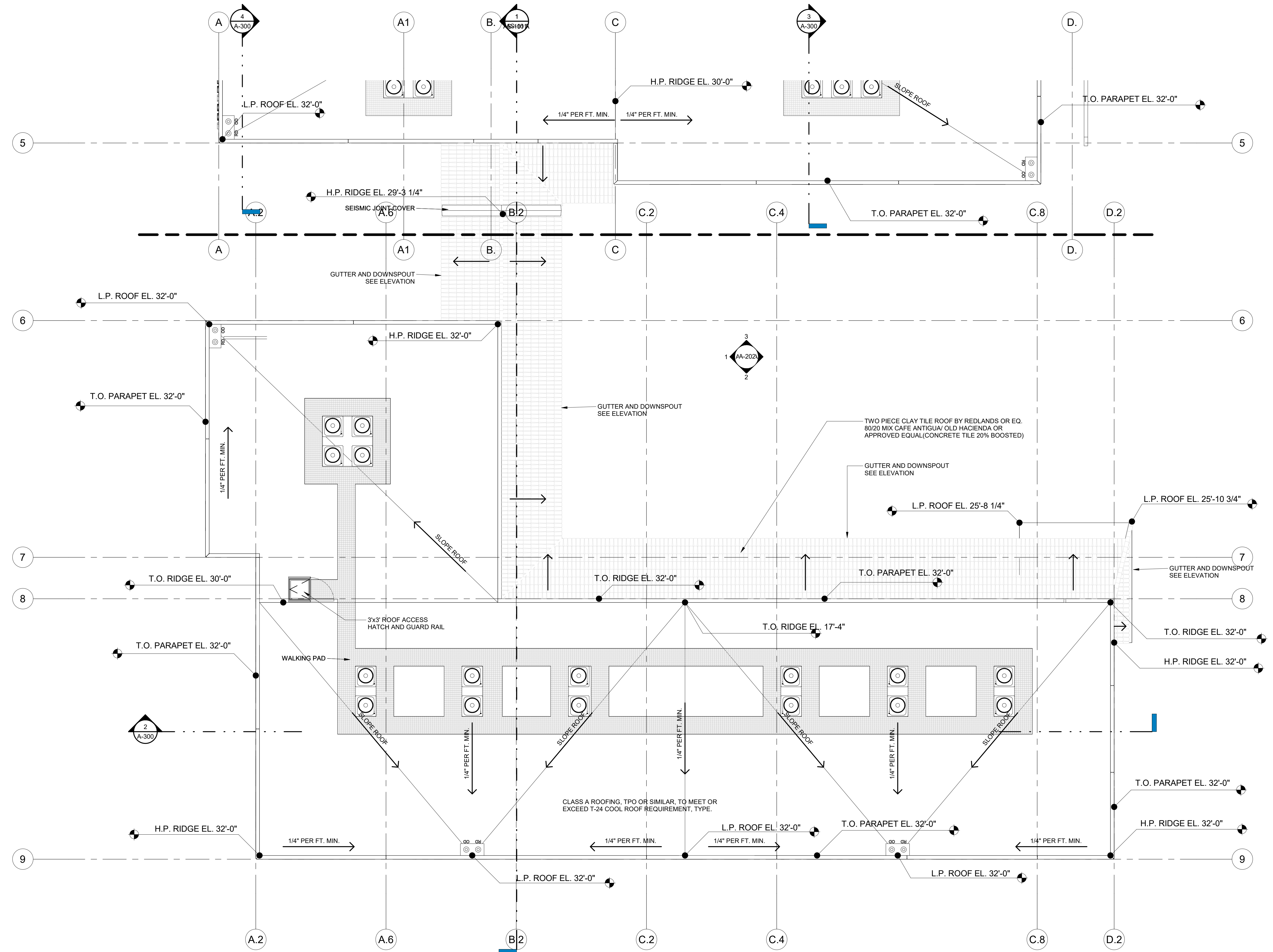
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- ALL HORIZONTAL ROOF DRAIN PIPES AND OVERFLOW DRAIN PIPES SHALL MAINTAIN A MINIMUM CLEAR HEIGHT OF 3'-6" A.F.F. IN CONDITIONED AREAS. ALL ROOF DRAIN VERTICAL PIPES SHALL BE CONCEALED AND MOUNTED INSIDE WALL CAVITY.
- WHERE OCCURS PER MECHANICAL DRAWINGS, ALL DUCTWORK THAT PENETRATES ROOF MEMBRANE - PROVIDE PRESSURE TREATED WOOD CURB AND USE MIN. 20 GA. GI FLASHING, TYP PER DETAIL: IAD2.1
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- MECHANICAL UNITS ON BUILT-UP PLATFORM PER DETAIL: FIAD2.1



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N
ROOF PLAN - SECTOR B
 1/8" = 1'-0"

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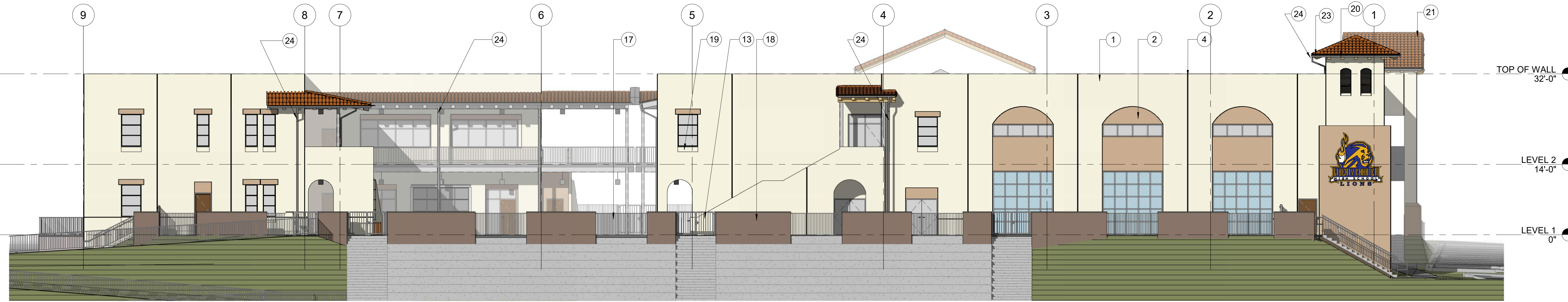
Roof Plan - Sector B

A-191B

APPROVED
 Oct 25, 2021
 PLANNING & DEVELOPMENT SERVICES



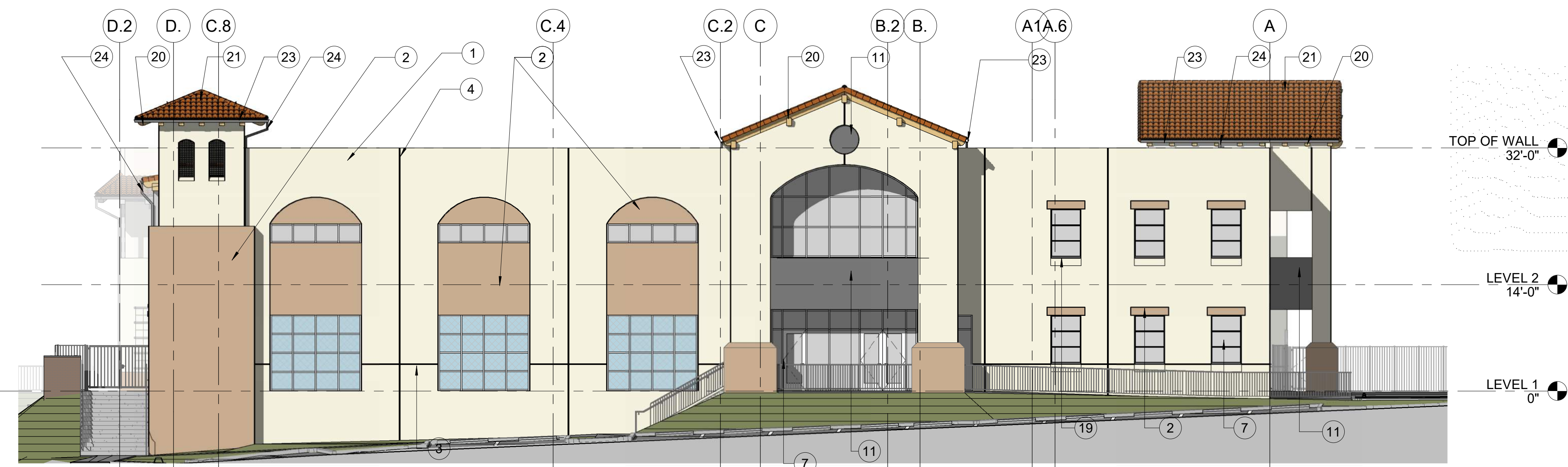
4 WEST ELEVATION_Option B
1" = 10'-0"



3 EAST ELEVATION_Option B
1" = 10'-0"



2 SOUTH ELEVATION_Option B
1" = 10'-0"



1 NORTH ELEVATION_Option B
1" = 10'-0"

EXTERIOR ELEVATION KEYNOTES	
1	COLOR-1 PAINTED PRECAST CONCRETE TILT-UP PANEL PER STRUCTURAL DRAWINGS, PAINT COLOR PER SCHEDULE. PAINT ALL EXPOSED CONCRETE ON ALL EXTERIOR FACES, TYP
2	COLOR-2 PAINTED PRECAST CONCRETE TILT-UP PANEL PER STRUCTURAL DRAWINGS, PAINT COLOR PER SCHEDULE. PAINT ALL EXPOSED CONCRETE ON ALL EXTERIOR FACES, TYP
3	3/4" DEEP V-GROOVE REVEAL CAST-IN CONCRETE PANEL PER DETAIL C1A1.0
4	CONCRETE PANEL BUTT JOINT PER DETAIL A1A1.0
7	GLASS SYSTEM PER PLAN. DUAL PANE 1" THICK VISION GLASS SYSTEM VISTACOL, 1/4" SOLARCOOL #2 SOLARBLUE, 1/2" AIR FILL CAVITY, 1/4" SOLARBAN 70 #3 BY VITRO ARCHITECTURAL GLASS IN ALUMINUM MULLION (FRONT SET, CAPTURED HORIZONTALS AND BUTT STRUCTURAL SILICONE GLAZED VERTICALS) SYSTEM TO BE 2' x 4' OR 7'-1/2" SYSTEM TO BE CLEAR ANODIZED INTERIOR/EXTERIOR SIDES
8	THIN STYLE ALUMINUM (SINGLE) STOREFRONT DOOR, WITH DUAL PANE GLAZING TO MATCH ADJACENT ALUMINUM MULLION SYSTEM, PER PLAN.
9	THIN STYLE ALUMINUM (PAIR) STOREFRONT DOOR, WITH DUAL PANE GLAZING TO MATCH ADJACENT ALUMINUM MULLION SYSTEM, PER PLAN.
11	DECORATIVE TILES
12	METAL AND CONCRETE STAIR W/ STEEL SUPPORT AND DECORATIVE TILE
13	STEEL GATE
14	CANOPY FEATURE
15	GLASS AND ALUMINUM FIREHOUSE DOORS
16	LOGO / SIGNAGE W/ ACCENT LIGHTING
17	METAL RAILING AND SUPPORT POSTS
18	ELDORADO STONE - CAPISTRANO ADOBE
19	CHAIFERED EDGE
20	HEAVY TIMBER RAFTERS
21	TWO PIECE CLAY TILE ROOF BY REDLANDS OR EQ. 80/20 MIX CAFE ANTIGUA/ OLD HACIENDA (OR APPROVED EQUAL)(CONCRETE TILE 20% BOOSTED)
23	GUTTER
24	DOWNSPOUT
25	GREEN WALL SYSTEM
26	METAL COMPOSITE WALL PANELS
27	SEISMIC JOINT COVER
28	OVERFLOW DOWNSPOUT NOZZLE WITH FLAPPER
29	PENDANT LIGHT



Liberty High Charter School

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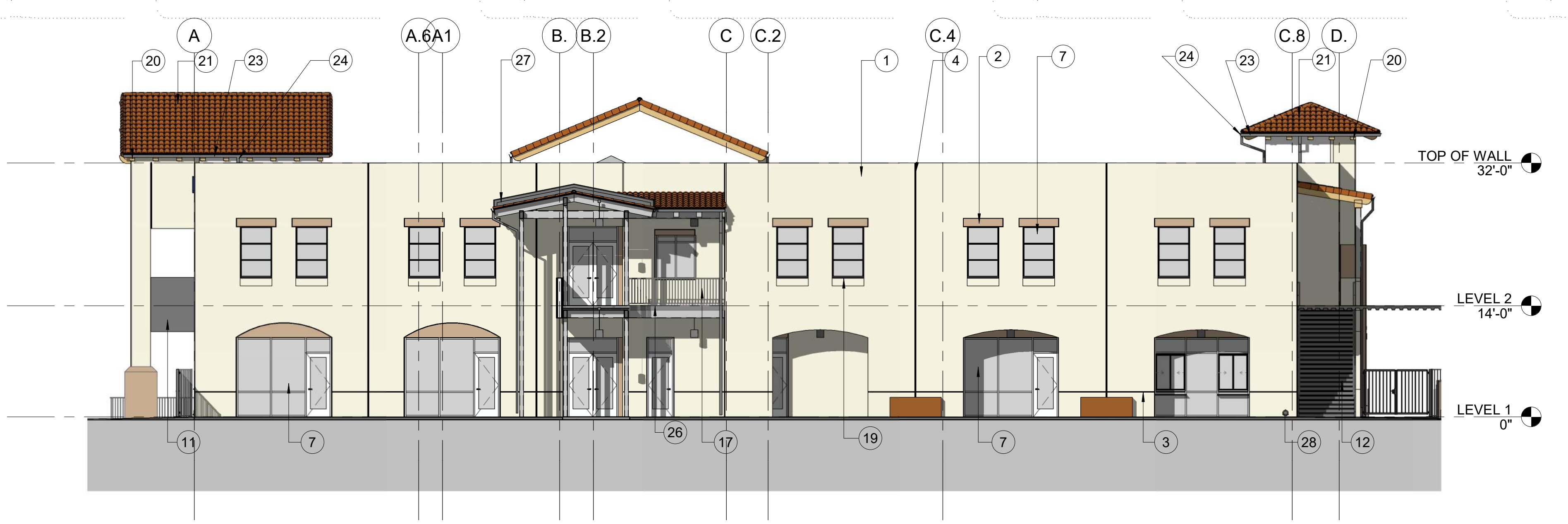
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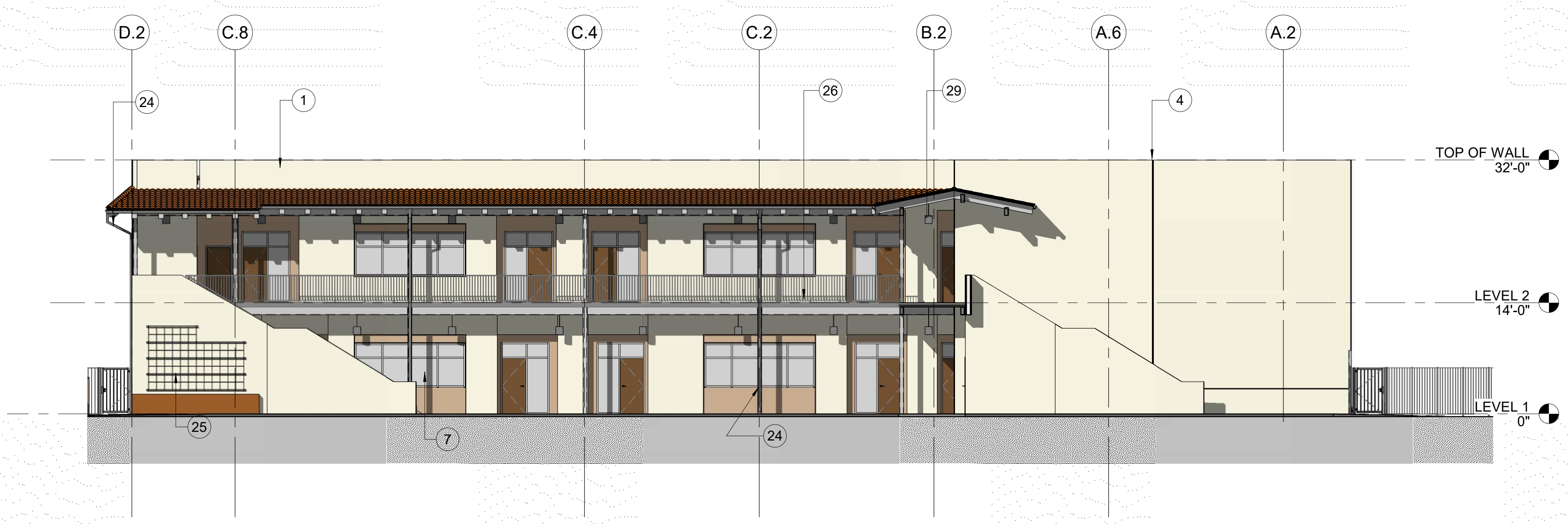
Exterior Elevations

APPROVED
Oct 25, 2021
PLANNING DEPARTMENT
SERVICES

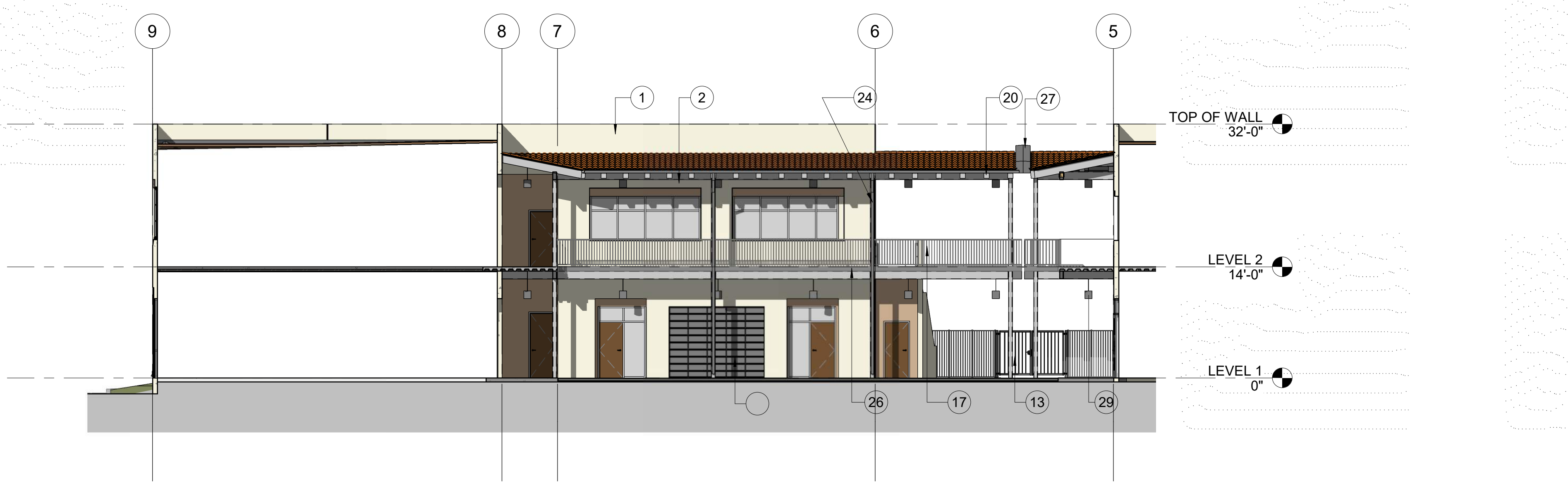
A-201



3 SOUTH ELEVATION COURTYARD
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2 NORTH ELEVATION COURTYARD
1" = 10'-0"



1 EAST ELEVATION COURTYARD
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