



Board Agenda Item #	II I- Consent Item
Date:	February 8, 2018
To:	Magnolia Board of Directors
From:	Caprice Young, Ed.D., CEO & Superintendent
Staff Lead:	Patrick Ontiveros, General Counsel & Director of Facilities
RE:	Approval of Agreement with gkkworks for Master Planning Services

### Proposed Board Recommendation

Staff recommends that the Board approve management to enter into a consulting services agreement with gkkworks for master planning services in an amount not to exceed Thirty-Forty Seven Thousand Five Hundred Dollars (\$47,500).

### Background

The zoning of the parking lot parcel that is part of MSA-1 is zoned “P” (parking only). The current “P” zoning restricts all usage and activity on the parking lot parcel to parking. A zone variance expanded the use to allow for outside dining. Staff previously recommended to the Board that the zoning be changed to “C2”. The “C2” zoning designation will allow more flexible future development and use of the parcel, including construction of new buildings. The zone change process, currently underway, requires plans and renderings to illustrate to stakeholders (City officials, community leaders, residents, etc.), the phased short term and long term development desired by MSA. The Board previously gave direction to staff to solicit a consultant to provide these services.

Primesource published an RFP for master planning services. Four (4) firms were specifically targeted. Two of the four provided a response. The proposal by gkkworks while more expensive exhibited the expertise and experience that is needed for this project. Gkkworks has extensive experience with the City of Los Angeles and has consulted with various schools (charter and non-charter) with similar projects. Accordingly, Staff recommends the gkkworks proposal for approval.

### Schedule Impact

No schedule impact. The goal is to develop short term and long term use of the parking lot to allow for future development and allow flexibility in use.

Budget Impact

The source of payment for this consulting agreement is the proceeds from the 2014 Bond. The cost will be billed on a time and material basis not to exceed \$47,500 unless modified by change order.

Attachments:

*Board Informative for MSA-1 Site Master Planning Services prepared by Primesource Project Management (includes RFP dated January 3, 2018, gkkworks proposal dated January 12, 2018, and draft contract for services)*



**PRIME SOURCE  
PROJECT MANAGEMENT**  
Project Leadership | Project Success

## **Board Informative 4: MSA-1 Site Master Planning Consultant Procurement**

### **Board Informative: MSA-1 Master Planning Consultant Procurement**

**Date: January 30, 2018**

**Board Action Requested:** Staff recommends approval of a consulting services agreement with gkk works to provide master planning consulting service at the MSA-1 Reseda campus in the not to exceed amount of \$47,500.

**Background:** Previous discussion with the Board explained the need for master planning consulting services to support ongoing efforts to change the zoning of the Reseda campus from the current "P" (parking only) designation to a "C2" (commercial designation). The current "P" (parking only) designation restricts all usage and activity on the parking lots to parking except as allowed by a zoning variance. The zoning variance issued for the property prohibits all school uses of the parking lot except for outdoor dining. The "C2" (commercial) zoning designation will allow unrestricted use and future development including construction of new buildings. Because the zoning change process is so difficult and time consuming, it is best to make one single change that includes authority for the maximum long term development of the site, even if that development is many years in the future.

In order to complete the zoning change process, which is already underway, MSA must be able to show plans and renderings that indicate to professionals and to the surrounding lay community the phased short term and long term development desired by MSA. This planning must be supported by technical analysis that clearly shows the impacts and mitigations available to the surrounding community. The Board previously gave direction to solicit a consultant to provide these services.

**Procurement Actions:** Staff developed the attached Request for Proposals (RFP) and released it on

January 3<sup>rd</sup> 2018. The proposal was sent to four firms: gkk works; Barrio Planners, Inc.; Johnson Fain; and Abramson Teiger Architects. These four firms were known to staff from work on other projects managed by staff. Phone invitations were also sent to solicit proposer interest and address any questions or concerns. Proposals were received on January 12<sup>th</sup> 2018 from gkk works and Barrio Planners, Inc.; Johnson Fain and Abramson Teiger both declined to propose primarily due to lack of resources in the immediate future. Proposals were reviewed and evaluated by Patrick Ontiveros and Tim Buresh. Both proposals were responsive to the RFP. Both firms displayed significant master planning experience for schools. However, Barrio Planners had a limited amount experience with City of Los Angeles zoning approvals, and no commercial experience. Gkk works displayed significant commercial experience working through City of Los Angeles for both charter schools and commercial projects. Staff believes that this experience has contributed to gkk works knowledge of the style and depth of materials required to obtain Planning support of development. Both firms included cost estimates, with Barrio Planners estimate of \$25,000 and gkk works estimate of \$47,500. The gkk estimate was accompanied by a more developed work plan that displayed a greater depth of knowledge and understanding of the tasks required. Staff held a negotiation session with gkk works on January 25, 2018 primarily to further develop understanding of the tasks required and work sequencing and to confirm participation and roles of key staff. The work plan will require a concentrated effort for the first three months. During this time period, deliverables include: near term site development plan without joint use facilities with the City; long term site plan without joint use facilities with the City; long term site plan with joint use facilities with the City; and concept plans for the City Ice rink project. Longer term efforts will then be directed toward influencing the City Ice Rink project design and joint use potential, and addressing community and Planning Department issues. The total effort is estimated to require one year. Staff was able to reduce the cost of producing the deliverables in the first three months. Staff recommend using a cost reimbursable not to exceed contract format instead of lump sum pricing because of the open ended and difficult nature of the tasks involved. Estimating the amount of effort required for the City Ice Rink joint use development is

particularly difficult: the more successful the discussions, the greater the amount of support and cost required. Consequently, staff recommends a not to exceed contract award of \$47,500 to preserve adequate funding to fully support successful negotiations with the City. If these are not successful, master planning efforts in this area will be suspended.

**Attachments**

Request for Proposals dated January 3, 2018

Gkk works proposal dated January 12, 2018

Contract for professional services dated February 2, 2018





**REQUEST FOR PROPOSALS  
MASTER PLANNING CONSULTING  
SERVICES**

**MAGNOLIA SCIENCE ACADEMY 1  
RESEDA CAMPUS**

**18238 Sherman Way  
Reseda, CA 91335**

**Posted  
Date Posted: 01/03/18**

**Submit Responses To:  
Timothy Buresh  
tim.buresh@primesourcepm.com**

**RFP Due Date:  
01/12/18  
No Later Than 5:00P.M.**



Request for Proposals – Zoning Variance Consulting Services  
January 3, 2017 - Page 2

## INTRODUCTION

Magnolia Science Academy 1 (“Magnolia”) is requesting Proposals for Master Planning Consulting Services for work associated with the Magnolia campus located at 18238 West Sherman Way in Reseda.

Magnolia is a public school that currently serves approximately 500 students in grades 6-12. The Charter has a STEAM (Science, Technology, Engineering and Mathematics) emphasis and an outstanding academic reputation as one of the highest performing high schools in the nation. This has created a very high demand for admission that the current Campus facilities cannot accommodate.

Magnolia requires professional architectural services to provide Campus master planning services to: formalize a master plan to maximize the long term use and development of the campus; assist in the near term alteration of current temporary and permanent zoning provisions and to obtain a Conditional Use Permit; and to explore symbiotic development of adjacent City-owned property. Although Magnolia is a California public school, this campus is not being built under the California Field Act, and is therefore subject to City of Los Angeles zoning and building code requirements.

## EXISTING CONDITIONS AND SCOPE OF WORK

Magnolia is located on two adjacent parcels in the City of Reseda that were obtained at different times from different owners. Reference attached ALTA survey file.

Magnolia is currently housed in a 2-story formerly commercial structure on a parcel (APN 2125-036-095 and APN 2125-036-100) that contains a building and surface parking area. The portion containing the building is zoned “Q (C2)”, and the portion containing the parking lot is zoned “P”. Reference attached exiting building floor plans.

A zoning variance was obtained for this parcel that allowed campus food service to be provided within a temporary enclosure located on a portion of the parking lot, plus required maintenance of a large number of parking slots and correction of a longstanding drainage issue, plus imposed various use conditions. Reference attached ZA 2014-0995(ZV).

Magnolia recently acquired an adjacent parcel (APN 2125-036-021 and APN 2125-036-105) that includes a commercial structure and parking lot. The portion containing a building is zoned “Q (C2)” and the portion containing a parking lot is zoned “P”. The existing building has been demolished and a new two-story high school classroom building will be constructed on the parcel. The new high school building is currently in plan check by LADBS (Plan check #B17LA10287). This will allow Magnolia to serve approximately 500 high school students in the





Request for Proposals – Zoning Variance Consulting Services  
January 3, 2018 - Page 3

new building. The current zoning classification and various building permit restrictions continue the current use of a large portion of the site as parking. Reference attached new high school floor plans.

Once the new high school building is on line, the existing classroom building will be used as a middle school also serving approximately 500 students. This building will be renovated to add classrooms, alter circulation and exiting, and to improve the building. Desired renovations will increase the FAR beyond the currently allowed 1.5 ratio.

Magnolia is considering the near term addition of a solar shade structure in the parking lot to provide a covered outdoor dining and student activity area plus adjacent restroom facilities.

The current zoning classification and zoning variance conditions are an impediment to the maximum development and growth of the campus. For example, under the current "P" zoning classification, more than half of the two parcels are restricted to parking. The campus does not require such a large amount of parking. The campus does require additional academic support and recreational space. For example, there is an unmet need for large group assembly space, campus dining space, and indoor and outdoor athletic spaces. Even with the new high school building, there will be significant unmet enrollment demand.

Magnolia is considering the long term construction of a third building in the parking lot. This two-story building may include a gymnasium and multipurpose room serving the entire campus, plus additional classrooms sufficient to accommodate either a second high school or to accommodate a k-5<sup>th</sup> grade elementary school.

The surrounding neighborhood is in transition. The City of Los Angeles is supporting the revitalization of Sherman Way in Reseda. It has promoted a Town Center project concept that combines the redevelopment and expansion of Magnolia along with a City-owned Ice Rink and CIM-owned mixed use project both located on former CRA-owned parcels that are adjacent to Magnolia. The original vision for this project envisioned significant co-use and sharing of parcels and resources among all parties (e.g. shared parking and access, shared gymnasium and recreation facilities).

The City is finally moving forward on this long-discussed project. The City has taken possession of four CRA-owned parcels and assigned the Ice Rink project to City Parks and Recreation Department. The City project will use existing Proposition K funding of approximately \$7 million. The current concept is very preliminary, and has yet to enter design. The preliminary concept for the project includes an indoor ice skating facility and an outdoor roller blade skating facility.



Request for Proposals – Zoning Variance Consulting Services  
January 3, 2017 - Page 4

Magnolia believes that there remains significant opportunity for joint use and benefit between Magnolia and the City. For example, if joint use parking were included on the City parcels, the Magnolia parcels currently dedicated to parking could be devoted to outdoor recreational use such as a community soccer field. For example, if the City project included a community use gymnasium, a gymnasium on the Magnolia site would not be required and more space could be devoted to community recreation. For example, there is currently a dedicated alley that splits all of the Magnolia, City and CIM parcels. It may be in all parties' interests to collaborate and remove the alley by providing some other access route to joint use parking.

Magnolia is in the process of formally revising the zoning classification of the entire campus in order to remove objectionable operating and land use restrictions and to maximize the long term development potential for the campus. Charter has retained a Zoning consultant to assist in this process, Rabuid Commercial Services, Inc. Initial discussions with City Council Office and the City Planning Department are supportive of these changes. They are considered to be in line with City planning direction (e.g. reducing parking in favor of transit, eliminating at-grade parking in favor of higher use; supporting Town Center evolution and long term joint use goals).

Magnolia seeks architectural services for the following tasks:

- Develop a long term campus plan for presentation to the City Planning Department to support the requested changes in Magnolia campus zoning and land use and obtain a Conditional Use Permit (CUP). This plan will not consider collaboration with the adjacent City and CIM development. This plan will seek the maximum buildout of the site including: a third (and possibly fourth) building that provides an additional academic unit on campus (e.g. additional of a second high school or addition of an elementary school), plus Magnolia-owned gymnasium and multi-purpose building; that renovates and expands occupiable space within the existing classroom building; and that integrates circulation between the existing building, the new high school building and future development. This plan is intended to illustrate and support the long term vision for the Magnolia campus.
- Develop a concept plan that integrates City and Magnolia site development for presentation to the City Planning Department and the City Department of Parks and Recreation. This plan will consider collaboration with adjacent City development. This plan will propose a joint use approach to the Magnolia campus and City project including: City built 2 or 3 story building with indoor ice rink, indoor gymnasium/community recreation space, City outdoor skating rink, Magnolia built outdoor soccer field, Magnolia built outdoor recreation space, underground or under-building parking, and a revised vehicle circulation plan. This plan is intended to illustrate and support a long term vision for a collaborative use and development of the City and Magnolia sites.

Services will include public presentations and presentation materials. The consultant will collaborate with Magnolia's zoning consultant who will take the lead in all communication with



Request for Proposals – Zoning Variance Consulting Services  
January 3, 2018 - Page 5

the City. Work will begin immediately, with initial planning documents to be completed as soon as possible and final presentation meetings to be completed within 10 months.

### PROPOSAL SUBMISSION REQUIREMENTS

#### A) GENERAL INSTRUCTIONS

The purpose of this Request for Proposals ("RFP") is to obtain information that will enable Magnolia to select a consultant to provide master planning services. Magnolia is requesting proposals from qualified firms to provide these services.

Proposals must be submitted electronically in PDF format to **Timothy Buresh, Project Manager** at [tim.buresh@primesourcepm.com](mailto:tim.buresh@primesourcepm.com) no later than 5:00 p.m. on January 12, 2018. Late proposals will not be considered. Each proposal shall be treated as confidential until this deadline, after which time each proposal shall become a matter of public record.

All proposals are to be submitted in compliance with the format set forth below. Proposals must be typewritten, concise, straightforward, and must address each requirement and question. Brevity is encouraged and unnecessary or duplicative information should be avoided.

Clarifications or questions regarding submittals must be submitted via email to Timothy Buresh at [tim.buresh@primesourcepm.com](mailto:tim.buresh@primesourcepm.com). Please include the name of your firm and telephone number when making inquiries.

All proposals will become the property of Magnolia. Information in proposals will become public property and subject to public record disclosure laws. Magnolia reserves the right to make use of any information or ideas in the proposals. All proposals will be maintained as confidential working papers until officially placed on the Magnolia School Board meeting agenda.

Magnolia reserves the right to reject any and all proposals and to waive any informality in any proposal received. No obligation, either expressed or implied, exists on the part of Magnolia to make an award or to pay any costs incurred in the preparations or submission of a proposal. All costs associated with the preparation or submission of proposals for this RFP is solely the responsibility of the proposers.

#### B) Evaluation of Proposals and Recommendation

All RFP responses will be read and evaluated by a committee selected by the Magnolia CEO. The Magnolia will select a consultant that has the highest suitability for the work with Magnolia and the overall most desirable approach. Magnolia reserves the right to negotiate modifications with any firm as may be required to serve the best interests of Magnolia and to



Request for Proposals – Zoning Variance Consulting Services  
January 3, 2017 - Page 6

negotiate the final contracts with the most qualified candidates. The evaluation committee will make a recommendation to the Magnolia School Board to award a contract to the selected consultant. The Magnolia School Board will vote to award the contract at its ad hoc committee or regularly scheduled meeting.

**C) FORMAT REQUIREMENTS:**

All proposals shall include the following information:

**1. Cover Letter**

- a. Name of Firm
- b. Project Title – Proposal for Master Planning Consulting Services, Magnolia Science Academy - 1
- c. Date Submitted
- d. A brief cover letter

**2. General Information**

- a. Name, address, telephone, and e-mail address of firm, name and email for contact persons.
- b. Provide a short resume of your firm's history and areas of expertise.

**3. Master Planning experience** - Describe in detail your experience in providing educational and commercial master planning, obtaining modifications to zoning variance requirements and project development approvals within the City of Los Angeles. Include examples related to educational facilities and community recreation facilities.

**4. References** - Provide at least three (3) references, including names, addresses, telephone and email addresses of persons with respect to zoning variance projects which your firm or its senior personnel has worked on within the last five years. Please be advised that references may be contacted.

**5. Project Approach** - Briefly describe a work plan and how your firm would plan to work with Magnolia and their other consultants, representatives and/or agents in order to obtain the Conditional Use Permit and to present a coordinated project concept to the City. Include a timeline of activities.

**6. Resumes** – Include short resumes of key personnel to be assigned to this project. Includes specific examples of similar work. Describe their specific role and responsibility.



Request for Proposals – Zoning Variance Consulting Services  
January 3, 2018 - Page 7

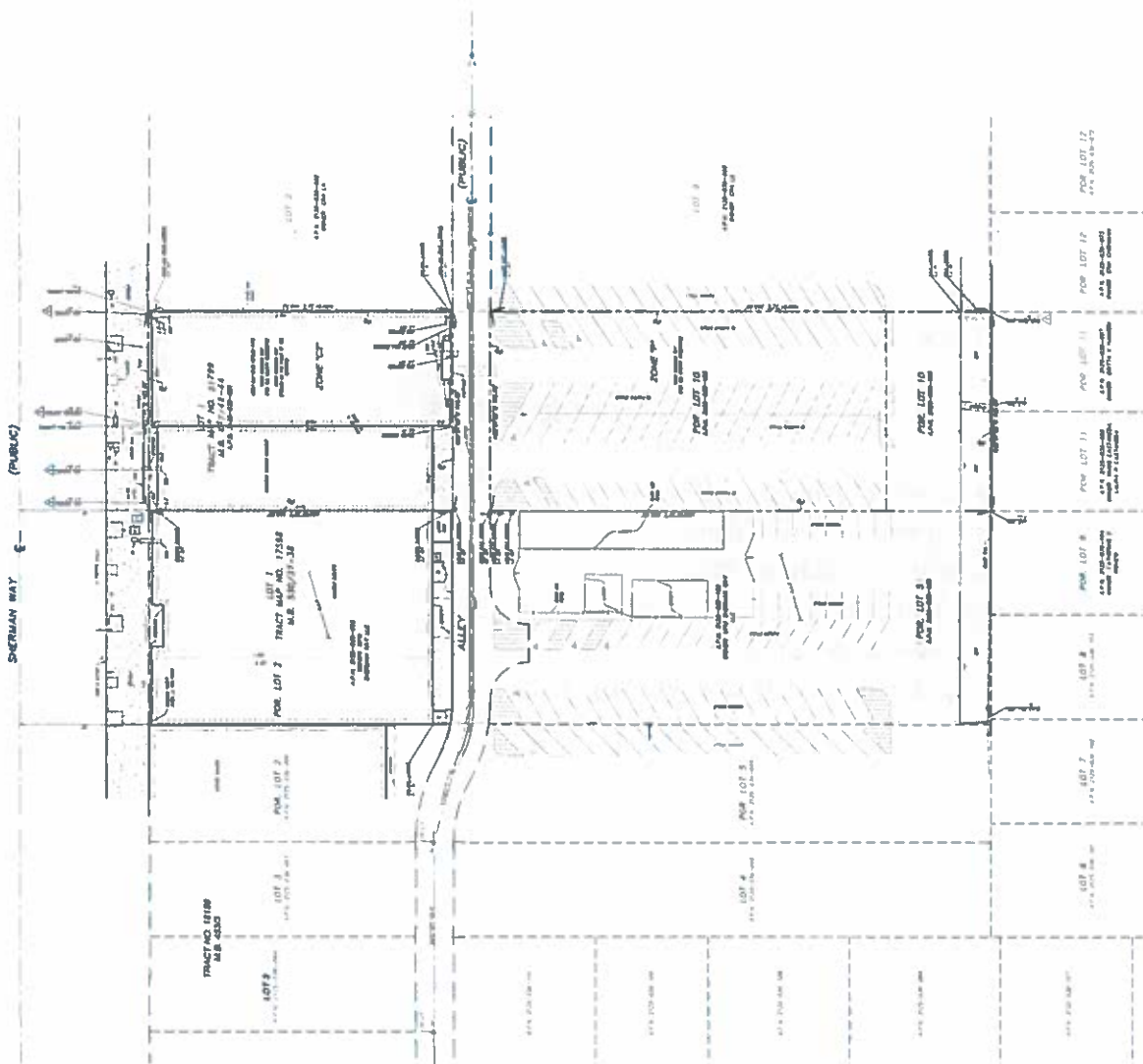
7. **Insurance Coverage** - Each submittal must include a copy of the respondent's Certificate of Insurance. This may be marked confidential. The firm or organization shall be required to carry the following insurance:
  - a. Comprehensive General Liability and Property Liability Insurance, with a minimum limit two million dollars (\$2,000,000), with the Magnolia named as Additional Insured;
  - b. Comprehensive Automobile Liability Insurance, including owned, non-owned, and hired vehicles with minimum limit of one million dollars (\$1,000,000);
  - c. Workers' Compensation and Employer Liability, statutory limit.
8. **Budget and Cost of Services** - Provide a proposed fee structure and estimate of costs for all proposed services for the project. Provide an estimate and breakdown of reimbursable expenses. Also, include an hourly rate schedule for personnel to be assigned to the project. Clarify what costs considered reimbursable and what costs are included in hourly fees.
9. **Proposed Contract for Consulting Services** – Include a proposed contract for these services.

**ATTACHMENTS**

1. Alta Survey Magnolia parcels
2. Existing Building floor plans
3. New High School floor plans
4. Preliminary site plan (for discussion)
5. Area development map
6. Zoning Variance ZV 2014-0995 (ZV)

# A.L.T.A./N.S.P.S. LAND TITLE SURVEY

18228 & 18214 SHERMAN WAY, LOS ANGELES, CA 91335



**SCALE OF MEASUREMENT**  
 1" = 40' HORIZONTAL  
 1" = 40' VERTICAL

**LEGAL DESCRIPTION**  
 TRACT NO. 18189  
 M.B. 3420-0000  
 PART OF TRACT NO. 18189  
 M.B. 3420-0000  
 AS SHOWN ON PLAT NO. 18189  
 M.B. 3420-0000  
 FILED FOR RECORD IN COUNTY OF LOS ANGELES  
 CALIFORNIA  
 ON SEPTEMBER 11, 1998  
 AT 10:50 AM

**ADDITIONAL NOTES**  
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.  
 2. ALL BEARINGS ARE TRUE BEARINGS.  
 3. ALL CORNERS ARE TO BE RECORDED.  
 4. ALL EASEMENTS ARE TO BE RECORDED.  
 5. ALL EASEMENTS ARE TO BE RECORDED.

**NOTES CONCERNING TO BUREAU NOTES**  
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.  
 2. ALL BEARINGS ARE TRUE BEARINGS.  
 3. ALL CORNERS ARE TO BE RECORDED.  
 4. ALL EASEMENTS ARE TO BE RECORDED.  
 5. ALL EASEMENTS ARE TO BE RECORDED.

**FORMER BACKGROUND NOTES**  
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.  
 2. ALL BEARINGS ARE TRUE BEARINGS.  
 3. ALL CORNERS ARE TO BE RECORDED.  
 4. ALL EASEMENTS ARE TO BE RECORDED.  
 5. ALL EASEMENTS ARE TO BE RECORDED.

**NOTES**  
 1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.  
 2. ALL BEARINGS ARE TRUE BEARINGS.  
 3. ALL CORNERS ARE TO BE RECORDED.  
 4. ALL EASEMENTS ARE TO BE RECORDED.  
 5. ALL EASEMENTS ARE TO BE RECORDED.

**RECORD INFORMATION**  
 FILE NO. 18189  
 MAP NO. 3420-0000  
 DATE 09/11/98  
 TIME 10:50 AM

**SETTLEMENT INFORMATION**  
 THE SURVEY WAS MADE BY THE SURVEYOR'S OFFICE.  
 ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.  
 ALL BEARINGS ARE TRUE BEARINGS.  
 ALL CORNERS ARE TO BE RECORDED.  
 ALL EASEMENTS ARE TO BE RECORDED.  
 ALL EASEMENTS ARE TO BE RECORDED.

**LEGEND**

[Symbol]	Public Right-of-Way
[Symbol]	Alley
[Symbol]	Zone 10
[Symbol]	Zone 9
[Symbol]	Public Lot
[Symbol]	Lot
[Symbol]	Easement
[Symbol]	Encroachment
[Symbol]	Survey Line

**ENGINEER'S CERTIFICATE**  
 I, the undersigned, being a duly licensed Professional Engineer in the State of California, do hereby certify that the above is a true and correct copy of the original survey as shown to me by the Surveyor's Office.



**CALVADA SURVEYING, INC.**  
 18228 & 18214 SHERMAN WAY  
 LOS ANGELES, CA 91335  
 TEL: 310-555-1234  
 FAX: 310-555-5678  
 WWW: WWW.CALVADA-SURVEYING.COM

**REGISTERED PROFESSIONAL ENGINEER**  
 No. 12345  
 State of California





INTERIOR  
RENOVATIONS & ALTERATIONS

MAGNOLIA  
SCIENCE ACADEMY

DIALOG FOUNDATION

Construction 23 July 2008  
Project 0010.01

FIRST FLOOR PLAN

A 6

SHEET 6 OF 68

KEYNOTES

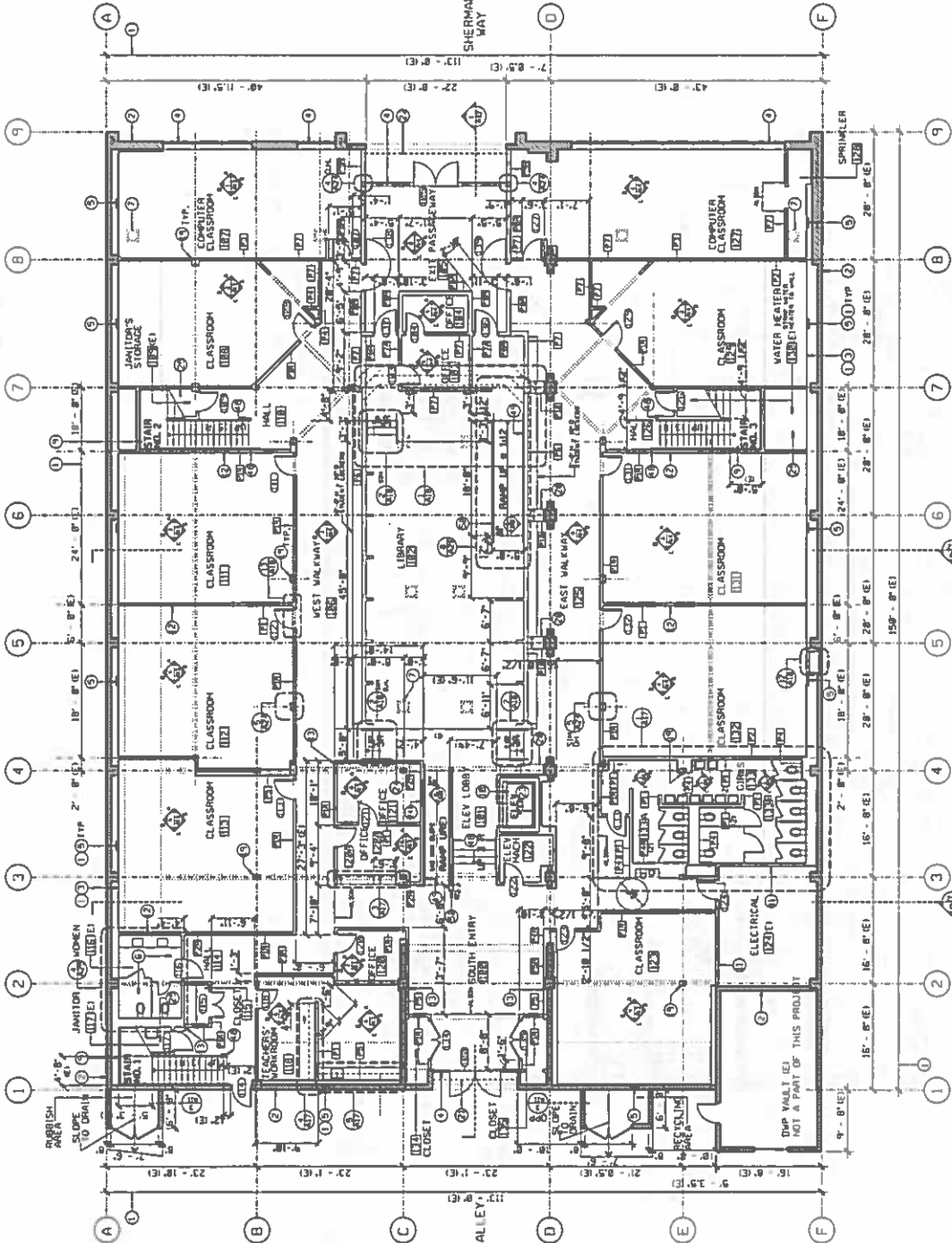
- 1 EXISTING CONDITIONS AND DIMENSIONS ARE DEPICTED ON REFERENCE SHEETS. VERIFY LOCATIONS OF EXISTING ELEMENTS.
- 2 CEILING HIR RATED MASSWAY WALL.
- 3 CEILING AND GYP BOARD.
- 4 REFER TO ELECTRICAL DRAWING.
- 5 ACCESSIBLE TOILET ROOM.
- 6 MEAC DEFIBRILLATOR ABOVE.
- 7 CEILING LIGHT ABOVE.
- 8 CEILING TO REMAIN SEE OAC 43.
- 9 ELEVATOR TO REMAIN.
- 10 FOR ADDITIONAL INFORMATION.
- 11 CEILING RATED W/ STUD & ORIGINAL FINISH LOCATION.
- 12 CONTINUE IN DRYWALL FINISH ACROSS RECONSTRUCTION SO THAT ORIGINAL FINISH LOCATION.
- 13 CEILING COLUMN SEE NOTE 1 WHERE APPLICABLE.
- 14 ON PARTIAL HEIGHT PARTITION.
- 15 SECURITY SHUTTER, HOODY AS NECESSARY TO CONFORM TO FIRE DEPARTMENT REQUIREMENTS.
- 16 SECURITY DRILL, MODIFY AS NECESSARY TO CONFORM TO FIRE DEPARTMENT REQUIREMENTS.
- 17 CEILING LIGHT MANAGER.
- 18 ON 4" x 8" x 4" x 8" ALUMINUM FRAME WINDOW, HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 19 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 20 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 21 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 22 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 23 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 24 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 25 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 26 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 27 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 28 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 29 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 30 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 31 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 32 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 33 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 34 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 35 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 36 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 37 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 38 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 39 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 40 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 41 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 42 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 43 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 44 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 45 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 46 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 47 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 48 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 49 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.
- 50 WINDOW HEAD HEIGHTS 7'-8" AS FOLLOWS: OFFICE 1211.

FLOOR PLAN LEGEND  
1. STUD PARTITION, SEE NOTES FOR DRYWALL REQUIREMENTS

2. MILL STUD PARTITION, SEE FINISH SCHEDULE FOR FINISH MATERIALS & REQUIREMENTS

FLOOR PLAN NOTES

- 1 DIMENSIONS ARE TO FACE OF PARTITION UNLESS SPECIFIED OTHERWISE. FINISH UNLESS SPECIFIED OTHERWISE.
- 2 PARTITIONS AT TOILET ROOMS MUST SUPPORT WALL MOUNTED FINISHES. WALL MOUNTED FINISHES MUST BE CONSTRUCTED OF 1/2" DIA. STUDS SPACED AS REQUIRED TO SUPPORT FINISHES. ALL PARTITION BACKING ATTACHED TO STUDS AS REQUIRED.



1 FIRST FLOOR PLAN  
1/8" = 1' - 0"

Existing Building - First Floor Plan



KEYNOTES

- 1 EXISTING CONDITIONS AND DIMENSIONS ARE DEPICTED FOR REFERENCE. VERIFY LOCATION OF EXISTING ELEMENTS.
- 2 REINFORCY WALL.
- 3 RE FLOORING AND GYP BOARD.
- 4 RE STOREFRONT AND GLAZING.
- 5 RE ELECTRICAL PANEL.
- 6 RE ACCESSIBLE TOILET ROOM.
- 7 NO WORK IN THIS AREA.
- 8 RE AC DIFFUSER/DUCTWORK ABOVE.
- 9 RE SIGHTLINE ABOVE.
- 10 RE PARTITION ABOVE DUG.
- 11 RE ADDITIONAL INFORMATION FOR ADDITIONAL INFORMATION.
- 12 RE TELEVISION TO REMAIN.
- 13 RE ADDITIONAL INFORMATION FOR ADDITIONAL INFORMATION.
- 14 RE EITHER RATED GLASS STUD & CRITICAL TO PARTITION OR PARTITION TO PARTITION.
- 15 DRY WALL FINISH.
- 16 CONTINUE DRY WALL FINISH ACROSS RECONSTRUCTION SO THAT ORIGINAL FINISH LOCATION IS MAINTAINED.
- 17 RE PARTITION ABOVE DUG.
- 18 RE PARTITION ABOVE DUG.
- 19 RE PARTITION ABOVE DUG.
- 20 RE PARTITION ABOVE DUG.
- 21-25 NOT USED.

INTERIOR  
RENOVATIONS & ALTERATION

MAGNOLIA  
SCIENCE ACADEMY

DIALOG FOUNDATION

FLOOR PLAN LEGEND

- 1 GLASS STUD PARTITION SEE NOTE FOR ORIGINAL REQUIREMENTS
- 2 ASMTL GLASS PARTITION SEE PARTITION TYPE FOR CONSTRUCTION REQUIREMENTS MATERIALS & REQUIREMENTS

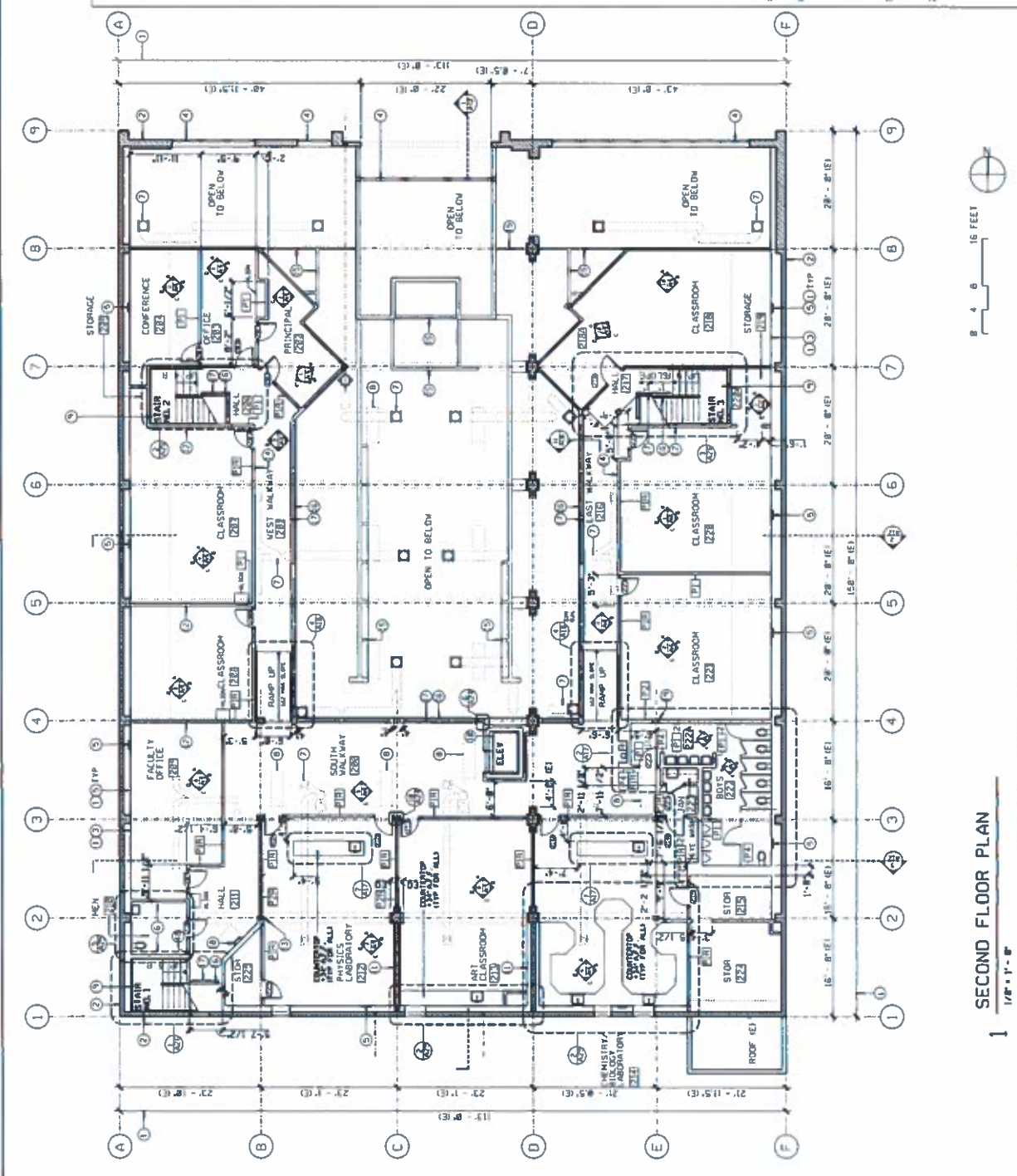
FLOOR PLAN NOTES

- 1 PARTITIONS AT TOILET ROOMS SHALL BE CONSTRUCTED OF 6" DEEP 16 GA. GALV. STEEL STUDS WITH 1/2" Gypsum Board Backing WELDED TO STUDS AS REQUIRED.
- 2 PARTITIONS AT TOILET ROOMS SHALL BE CONSTRUCTED OF 6" DEEP 16 GA. GALV. STEEL STUDS WITH 1/2" Gypsum Board Backing WELDED TO STUDS AS REQUIRED.

Construction 23 July 2002

Project 0018.01

SECOND FLOOR PLAN



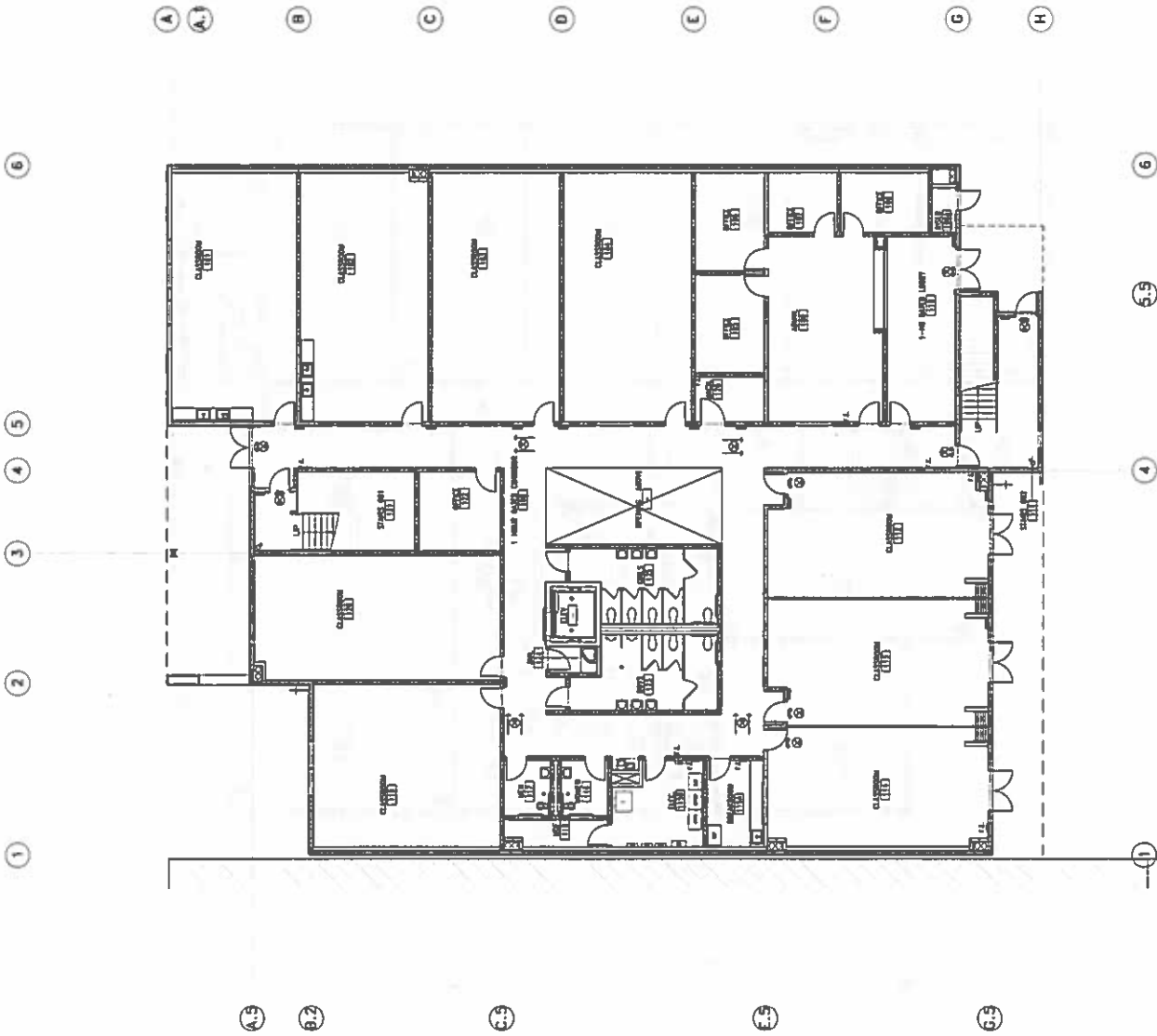
1 SECOND FLOOR PLAN  
1/8" = 1' - 0"

Existing Building Second Floor Plan



**New High School Building**  
**- First Floor Plan**

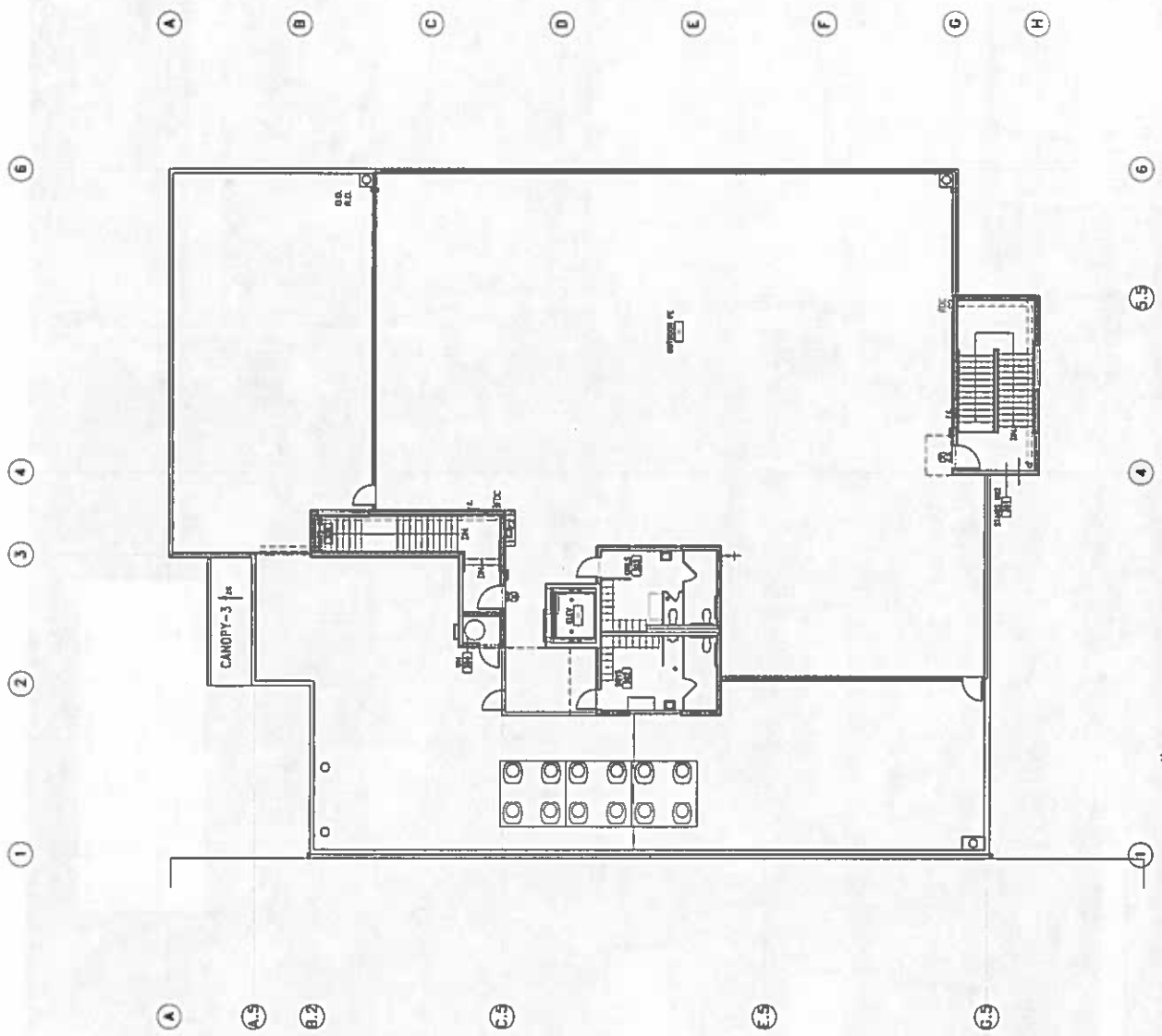
FIRST FLOOR CONSTRUCTION PLAN  
Scale: 1/8" = 1'-0"





SECOND FLOOR CONSTRUCTION PLAN  
 DATE: 04-11-11

New High School Building  
 - Second Floor Plan



ROOF CONSTRUCTION PLAN  
SCALE: 1/8" = 1'-0"

New High School Building  
- Roof Plan



# Magnolia Campus - Overall Site Plan - Preliminary

2017-09-15 Site Master Plan and Third Building discussion

Fenced/green barrier

Outdoor recreation or landscaping - artificial turf

Area under artificial turf used for on-site drainage and pervaporation

Cafegymnasium about 7,500 sf

Outdoor covered area - dining and gathering

Fire department turning circle

Student gathering

Middle school 26,251 sf

Parking for both schools - Fit all slots here?

Pick-up and Drop-off loop, car staging

Block wall/green barrier next to residential properties

Carpool drop-off at street entrances

High School 25,163 SF

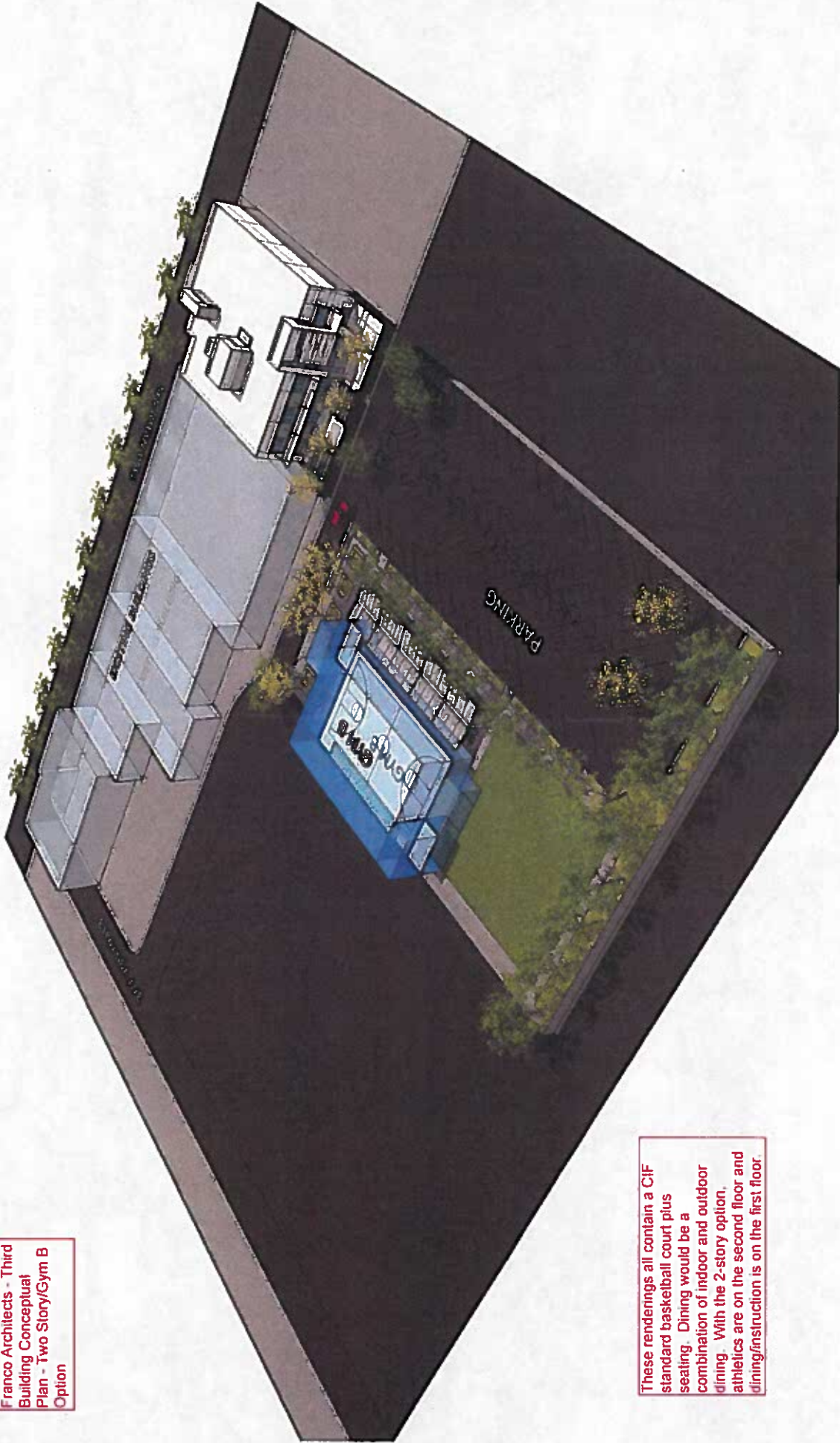
MSA Parking lot separated from neighbor parking lots - no drive across

Approximate Parking requirements: High school - 11,500 sf - Middle school 17 classroom - High school 25,123 SF = 51 slots; Middle school 20 classrooms = 20 slots; Cafegymnasium = 4 classrooms = 4 slots  
Total slots = 51+20+4 = 75 slots  
30% transfer reduction - Net slots = 53 slots.

© 2017 Google  
Aerial Imagery: Earthstar Technologies, Inc.  
© SPOT AIRSPACE



Franco Architects - Third Building Conceptual Plan - Two Story/Gym B Option



These renderings all contain a CIF standard basketball court plus seating. Dining would be a combination of indoor and outdoor dining. With the 2-story option, athletics are on the second floor and dining/instruction is on the first floor.





Area development map

Google earth

City Parcel (Vacant)

CIM Development Parcels (Vacant)

City Parcel (Vacant)

Magnolia Campus

18238 Sherman Way

Lindley Ave

Gimineas Ave

Sault St

Twanda Ave

© 2017 Google  
© 2016 Europa Technologies  
© SAO1 Inc

LYNN K. WYATT  
CHIEF ZONING ADMINISTRATOR

ASSOCIATE ZONING ADMINISTRATORS

JACK CHIANG  
LOURDES GREEN  
THEODORE L. IRVING  
CHARLES J. RAUSCH, JR.  
JIM TOKUNAGA  
FERNANDO TOVAR  
DAVID S. WEINTRAUB  
MAYA E. ZAITZEVSKY

CITY OF LOS ANGELES  
CALIFORNIA



ERIC GARCETTI  
MAYOR

DEPARTMENT OF  
CITY PLANNING

MICHAEL J. LOGRANDE  
DIRECTOR

OFFICE OF  
ZONING ADMINISTRATION

200 N. SPRING STREET, 7<sup>TH</sup> FLOOR  
LOS ANGELES, CA 90012

(213) 978-1318  
FAX: (213) 978-1334

[www.planning.lacity.org](http://www.planning.lacity.org)

July 6, 2015

Dr. Mehmet Argin (A)(O)  
Magnolia Science Academy  
13950 Milton Avenue, Suite 200 B  
Westminster, CA 92683

Robert B Lamishaw (R)  
JPL Zoning Services  
6257 Van Nuys Boulevard  
Van Nuys, CA 91401

CASE NO. ZA 2014-0995(ZV)  
ZONE VARIANCE  
18238 West Sherman Way  
Reseda-West Van Nuys Planning Area  
Zone : [Q]C2-1L-CDO, [Q]P-1L-CDO  
D. M. : 183B125  
C. D. : 3  
CEQA : ENV 2005-3788-MND-REC2  
Legal Description: Lots 1 and 2 Arb 2,  
Lot 5 Arb 2, Tract 17598 and Lots 1 and  
10, Tract 21799

Pursuant to Charter Section 562 and Los Angeles Municipal Code Section 12.27-B, I hereby APPROVE:

a variance from Section 12.12.1-A of the Code to permit the continued use and maintenance of a portion of a [Q]P1-1L-CDO zoned parking area to be used for student lunch, recreation and drop-off/pick-up area incidental to a LAUSD Charter School,

upon the following additional terms and conditions:

1. All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
2. The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.



4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
5. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Development Services Center and the Department of Building and Safety for purposes of having a building permit issued.
6. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, or employees from any claim, action or proceedings against the City or its agents, officers, or employees relating to or to attack, set aside, void or annul this approval which action is brought within the applicable limitation period. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim action or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
7. No parking variance has been requested nor granted for a reduction in the required number of parking (91 spaces) established for the school use and associated gym facility.
8. Use of this school area in the P Zone is prohibited during Saturday or Sunday by the applicant or by any other party. The area shall be fenced and locked when not in use.
9. The enclosed lunch area shall be located closer to the alley than to the abutting residential uses.
10. Morning drop-off activities shall be generally limited to the hours between 7 a.m. and 8:15 a.m. During this period, children may have breakfast in the designated eating area and passive activities shall be encouraged. Lunch, social and playing activities within the parking area shall be generally conducted between 11:30 a.m. and 1:30 p.m. Pick-up activities shall extend from generally 2:15 p.m. to 5 p.m.
11. At all times that children are present in the parking lot area, in addition to school staff, there shall be a security guard present to escort children to the school and back and to insure their safety when crossing the alley.
12. Parking signs shall be posted along the perimeter of the school-required parking area noting that parking is reserved for the school and that there are school children in this area.
13. The applicant shall post signs within the lunch area reminding students and parents to be respectful of noise impacts on neighbor's peace and quiet.
14. Signage shall be conspicuously posted in the student drop-off and pick-up area outdoor notifying students, parents and guardians to be mindful of the peace and



quiet of the adjacent residential neighborhood, with a message to the following effect:

QUIET ZONE

At all times please respect our surrounding neighbors! Refrain from any loud conversation or shouting, playing any loud music, using car horns or any other disruptive behavior.

Vehicles must exit this area immediately in an orderly and quiet manner upon drop-off or pick-up of students.

15. No outdoor public address system shall be installed or maintained on the subject property. No paging system shall be installed which is audible outside the building in which it is located. No amplified music or loud non-amplified music is permitted outside.
16. All student outdoor activities shall take place within the approved fence area.
17. The subject property, including any associated parking facilities, shall be maintained in an attractive condition and shall be kept free of trash and debris.
18. Open areas devoted to trash storage or other storage shall not be located adjacent to a residential use or shall be buffered and/or enclosed by a solid masonry wall so as not to result in noise, odor or debris impacts on any adjacent residential uses.

The School operator shall be responsible for maintaining free of litter, the area and adjacent to the premises over which they have control.

19. The life of this grant shall be 10 years from the approval date, or earlier if the school relocates to another site before such date. At such time, the fencing shall be removed and the parking lot restored to its original use.
20. If at any time should documented evidence be submitted showing continued violation(s) of any Condition(s) of this grant, resulting in a disruption or interference with the peaceful enjoyment of the adjoining and neighboring properties, the Zoning Administrator will have the right to require the applicant/owner to file immediately for a plan approval application together with the associated fees to hold a public hearing to review compliance with and the efficacy of the Conditions of the grant. The applicant shall prepare a radius map and cause a notification to be mailed to: all owners and occupants of properties within a 500-foot radius of the property; the applicable Council District Office and corresponding representative Neighborhood Council(s); and the corresponding Division of the Los Angeles Police Department. The applicant shall also submit a summary and supporting documentation of how compliance with each Condition of the grant has been attained. Upon this review, the Zoning Administrator may modify, add or delete Conditions, and reserves the right to conduct this public hearing for nuisance abatement/revocation purposes.

21. The school administration shall participate in holding semi-annual meetings, possibly coordinated or facilitated by the local Neighborhood Council, to discuss any major issues of concern to the surrounding neighborhood related to the school's use of the parking lot.
  - a. The school administration shall either provide a minimum 10-day advance written notification of such meetings to residents within 100 feet of the property, or provide an annual calendar of scheduled meeting dates, time and location to the same residents.
  - b. The school administration shall investigate and respond promptly to any complaints, and maintain an annual summary report of the meetings along with a log of any calls and responses in the event that the Office of Zoning Administration, the Department of Building and Safety or other law enforcement agency requests such annual report or log for review.
22. The school is allowed to hold five special events per calendar year. Special events may take place outside on the parking lot, but events shall not include carnival types of activities with mechanical rides. The school administrator shall provide a minimum 2-week advance written notification of any special events to abutting residents.
23. The school administrator shall set up a complaint hot line phone number to address any site maintenance and operational nuisance issues. The number shall be posted at the school entries, and be provided to the immediate neighbors, and local neighborhood council groups.
24. Loitering on or around the premises under the control of the school is prohibited. School administrators shall contact Los Angeles Police Department of any suspicious activities taking place in the parking lot during school operational hours.
25. The school management shall commence the drainage repair work within a year from the approval date of this grant and complete the repair within two years from the approval date. Council Office may be contacted to facilitate communication and coordination with abutting parking lot owners to address the drainage repair.
26. A landscape plan prepared by licensed landscape professional shall be submitted to the Planning Department prior to any permit issuance showing a 16-foot wide landscape buffer at the most southerly portion of the parking lot abutting to the single family properties. Landscape shall have routine maintenance including any brush clearance.
27. No overnight parking or camping allowed in the parking lot except vehicles owned by the school personnel or affiliated with school events.
28. All conditions enumerated in Environmental Clearance Case No. ENV 2005-3788-MND (listed below) shall be considered conditions of this grant.

a. Safety Hazards

The applicant shall submit a parking and driveway plan that incorporates design features that shall reduce accidents, to the Bureau of Engineering and the Department of Transportation for approval.

b. Utilities (Solid Waste)

Recycling bins shall be provided at appropriate locations to promote recycling of paper, metal, glass, and other recyclable material.

30. Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Zoning Administrator for attachment to the subject case file.

### **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the approval shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within three years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void.

### **TRANSFERABILITY**

This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent upon you to advise them regarding the conditions of this grant.

### **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

Section 12.29 of the Los Angeles Municipal Code provides:

"A variance, conditional use, adjustment, public benefit or other quasi-judicial approval, or any conditional approval granted by the Director, pursuant to the authority of this chapter shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its conditions. The violation of any valid condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission or City Council in connection with the granting of any action taken pursuant to the authority of this chapter, shall constitute a violation of this chapter and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$2,500 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

#### **APPEAL PERIOD – EFFECTIVE DATE**

The applicant's attention is called to the fact that this variance is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then this variance shall be subject to revocation as provided in Section 12.27 of the Municipal Code. The Zoning Administrator's determination in this matter will become effective after JULY 21, 2015, unless an appeal therefrom is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of the Zoning Administrator's action, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. **Forms are available on-line at <http://planning.lacity.org>**. Public offices are located at:

Figueroa Plaza  
201 North Figueroa Street,  
4th Floor  
Los Angeles, CA 90012  
(213) 482-7077

Marvin Braude San Fernando  
Valley Constituent Service Center  
6262 Van Nuys Boulevard, Room 251  
Van Nuys, CA 91401  
(818) 374-5050

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

#### **NOTICE**

The applicant is further advised that all subsequent contact with this office regarding this determination must be with the Zoning Administrator who acted on the case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

#### **FINDINGS OF FACT**

After thorough consideration of the statements contained in the application, the plans submitted therewith, the statements made at the public hearing on June 12, 2015, all of which are by reference made a part hereof, as well as knowledge of the property and surrounding district, I find that the five requirements and prerequisites for granting a

variance as enumerated in Section 562 of the City Charter and Section 12.27-B,1 of the Municipal Code have been established by the following facts:

### **BACKGROUND**

The property, comprised of three lots and bifurcated by an east-west through alley, is a level, rectangular-shaped, interior, 47,297 square-foot parcel of land with a frontage of 113 feet on the south side of Sherman Way. The property has an even width of 113 feet and an even depth (exclusive of the alley right-of-way) of 426 feet. The alley right-of-way separates the [Q]C2-1L-CDO zoned portion of the property to the north from the [Q]P-1L-CDO zoned portion of the property to the south.

The property is developed with a two-story commercial building fronting on Sherman Way used as a school (Magnolia Science Academy) and an adjoining one-story commercial building used as a gymnasium with a large surface parking lot at the rear. Vehicle ingress and egress is via the alley, which accesses Etiwanda Avenue to the west and Lindley Avenue to the east.

The property is located within the Reseda-West Van Nuys Community Plan Area, the Reseda Central Business District Community Design Overlay Zone, the Reseda Central business District Streetscape Plan, the Reseda Village Merchant Business Improvement District, an Airport Hazard Horizontal Surface Area, and is within 10 kilometers of the nearest known fault (Northridge Fault).

The north, east and west adjoining properties are zoned [Q]C2-1L-CDO and [Q]P-1L-CDO and developed with one- and two-story commercial buildings. The adjoining property to the east is developed with the subject school's gymnasium and a vacant commercial building. The western adjoining property is developed with JAM – the Joining All Movement Center. The north abutting properties, across Sherman Way, consist of a shopping center with a CVS and Jon's Grocery Store. The southern adjoining properties are zoned R1-1 and are developed with single-family dwellings.

Sherman Way is a Scenic Major Highway Class II improved to a width of 100 feet with asphalt roadway, landscaped median, concrete curb, gutter, and sidewalk.

Alley, bisecting the property, is an alleyway improved to a width of 20 feet, with asphalt roadway and concrete centerline gutter.

Previous zoning related actions on the site include:

Case No. ZA 2008-0748(ZV) – On September 10, 2008, the Zoning Administrator approved a variance to permit the continued use and maintenance of a portion of a [Q]P1-1L zoned parking area to be used for student lunch, recreation, and drop-off/pick-up incidental to a LAUSD Charter School. The grant expired July 31, 2012.

Case No. ZA 2005-3787(ZV) – On December 1, 2005, the Zoning Administrator approved a variance to allow the continued use and maintenance of a student drop-off and pick-up, lunch and playground area located in the P-1L Zone in conjunction

with an existing charter school located in the [Q]C2 Zone with 15 conditions and a expiration date of January 1, 2008.

Order to Comply Case No. 181746 – On October 13, 2006, the Department of Building and Safety issued an Order to Comply for the following violations of Zoning Administrator Case No. ZA 2005-3787(ZV): failure to provide the required 91 parking spaces for school use and gym facility; failure to provide a security guard at all times when children are present; failure to provide required signs; failure to post required signs within the play area; failure to submit a parking and driveway plan to the Bureau of Engineering and the Department of Transportation. Case was closed on August 19, 2009 because the school was now operating under a new zone variance and since the orders were for an expired ZV, order was closed.

Ordinance Nos. 176,557 and 176,558 – Effective on May 2, 2005, establishing the Reseda Central Business District Community Design Overlay District, repealing the Reseda Central Business District Specific Plan, and resulting in zone changes imposing the addition of the "CDO" Zone suffix and "Q" conditions. The "Q" conditions regulate auto-related uses, ground-level residential uses, development of store frontages, parking buildings, and signage and prohibit new auto-related uses, open storage, and shelters for the homeless. The conditions also limit commercial development to a maximum height of 45 feet. (CPC 2002-1263-CDO-ZC-MS)

### **PUBLIC HEARING**

On May 19, 2015, notices for public hearing were mailed to owners/occupants within a 500-foot radius of the site. The public notice was posted at the subject site on May 28, 2015. A public hearing was conducted by Associate Zoning Administrator, Jack Chiang, on June 12, 2015 in the Marvin Braude San Fernando Valley Constituent Services Center.

The applicant and the applicant's representative were able to testify that the project is a request for a variance to allow a student lunch, recreation, and drop-off/pick-up area for Magnolia Charter School in a [Q]P1-1L zoned parking area. The applicant's representative, Mr. Robert Lamishaw, stated that the Charter School was established in 2002 and is a highly rated school in the State. The School itself is a by-right use located in the C2 Zone, but the parking area is in an antiquated P (Parking) Zone which City does not employ in current land use and zoning designations. The School has an enrollment of 520 students from sixth to twelfth grade with operating hours from 7:30 a.m. to 3:00 p.m. Monday to Friday. There is no public paging system or loud outdoor music playing during the activity time, and the school is closed during in the weekends. The requested student lunch and recreation area in the parking lot will be used for two 15-minute breaks, one in the morning and one in the afternoon in addition to one hour lunch at noon. After school pick up is between 3:00 p.m. to 6:00 p.m. The applicant is also requesting a longer term grant as the fund to renew subsequent variances can be best applied to books and educational equipment.

There were three interested parties aside from the applicant who attended the public hearing, all of whom spoke.

David Reames, an abutting property owner.

- Not against the School.
- Concerned with the noise, trash, pollution, fire hazard, security at night, and loud speaker of special events.
- A storm drainage problem in the parking lot which damaged his property and landscape. The problem cause a deep pool of water accumulates across several properties in the parking lot after each rain. The water also remains undrained over a long period of time which becomes mosquito breeding pool and may cause serious health issues.

Billie Jean Krumrey, a local resident.

- Concerned about the parking drainage problem.
- Concerned about the safety of students as the parking lot is not best suitable for recreation and lunch use.

Dr. John Foroutan, a local business person.

- There should be a better location for the school to operate.
- Concerned about the increasing gang activities and students' well-being.
- Concerned about the traffic safety during the drop-off and pick-up.

Frank Gonzales, a Magnolia School administrator.

- Mangolia School is in an urban setting for kids who live in the area. It is the best choice for kids and families that do not have many resources.
- The school has on-site adult supervisors at all time during the operational hours.
- The school will coordinate with the Council Office about the drainage repair and its construction.

Andrew Pennington of Council District No. 3 stated that the Council Office acknowledged neighbors' concerns, and requesting mitigations of noise and trash impacts. Some of the issue may be resolved with dialog between the school and abutting neighbors and the Office encourages communication between the two. The Office has met with the Bureau of Engineering to address the drainage issue. However, the parking lot properties are not City owned properties therefore the School will need to privately repair the drainage line.

After the interested parties made their comments, the applicant's representative Mr. Robert Lamishaw responded that Magnolia School management was well aware of the drainage problem, but the school was only a lessee of the parking lot who did not have the ownership over the property to address the issue. The school will now repair the parking lot drainage system as it recently purchased the parking lot property. The school also has a full time custodian who maintains the school site during the operational hours. There are trashes traveled from other properties, but the School will do its best to clean up its own property. The school only held one special event in a year, and the school management will notify abutting owners in advance.



After the closing of the public comment period, the Zoning Administrator stated that he will amend a complaint hot-line condition for the neighbors to call in the event that nuisance occurs, a Plan Approval condition in case there are sufficient nuisance, a drainage repair condition, a landscape condition, a special event condition, and a trash removal condition. The applicant agreed to all amended conditions.

### **COMMUNICATION RECEIVED**

The Zoning Administrator has received a letter from Mr. David Reames, an abutting resident of the school. The letter reiterates what Mr. Reames said in the public hearing in regards to the concerns of noise, trash, pollution, fire hazard, lack of security at night, loud speaker of special events, and storm drain problems. The letter also provides suggestions to mitigate impacts.

### **MANDATED FINDINGS**

In order for a variance to be granted, all five of the legally mandated findings delineated in City Charter Section 562 and Municipal Code Section 12.27 must be made in the affirmative. Following (highlighted) is a delineation of the findings and the application of the relevant facts of the case to same:

1. **The strict application of the provisions of the Zoning Ordinance would result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.**

The applicant has requested a variance from LAMC Section 12.12.1-A to permit the continued use and maintenance of a portion of a [Q]P-1L zoned parking area to be used for student lunch, recreation, and drop off/pick up, incidental to an existing LAUSD Charter School (Magnolia Science Academy). The school has operated at the site since 2003. Zoning regulations restrict certain uses in various zones in order to provide compatibility and protect neighboring uses. These regulations are written on a citywide basis and cannot take into account individual unique characteristics which a specific parcel may have. The unique location of a school within a commercial development that was not designed for such use has limited the student population's access to outdoor recreation and lunch time activities. According to the applicant:

Given the availability of a generous sized parking lot, denial of the request would limit the ability of the school to provide a more optimum environment for students that is otherwise restricted by the split zoning pattern and limited on-site space."

Granting of the variance would allow the school to continue the use while maintaining conditions that minimize impacts to the surrounding community, including the condition to locate the facility closer to the alley than abutting residential uses and the requirement to have a security guard present at the site at all times that children are present in the parking area.



In consideration of all of the above, the code's desire to achieve compatibility between uses and to protect neighboring properties, and the applicant's desire to maintain the continued use of the student lunch, recreation, drop-off/pick-up area in the P Zone can be permitted to continue in a manner that is consistent with the purpose and intent of the zoning regulations. The strict application of the provisions of the Zoning Ordinance would result in practical difficulties and unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.

2. **There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity.**

There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity. The site has converted a commercial building into a charter school. According to the applicant, the requested variance is a result of a building designed for commercial purposes and not for school needs.

Surrounding properties are zoned [Q]C2-1L-CDO, [Q]P-1L-CDO and are developed with various commercial buildings and surface parking. There are single-family and multi-family residential uses to the south abutting the P zoned property. The special circumstance that is applicable to the subject property is that the use has been permitted since 2005. During staff's site visit on June 5, 2015, a condition compliance review revealed substantial compliance with the terms of the 2008 grant. The use of the P Zone for student lunch, recreation, drop-off/pick-up is limited to morning drop off (7 a.m. to 8:15 a.m.), lunch activities (11:30 a.m. to 1:30 p.m.), and pick-up activities (2:15 p.m. to 5 p.m.). The use is not permitted during the weekend. Signage is present to remind students and parents to respect the neighbors. Based on these factors, the request is reasonable as it would allow for the continuation of a use that provides a great utility for the existing LAUSD Charter School.

3. **Such variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other property in the same zone and vicinity but which, because of such special circumstances and practical difficulties or unnecessary hardships, is denied the property in question.**

The proposed variance is to allow the continued operation and use of the outdoor student lunch, recreation, and drop-off/pick-up area in the P Zone is necessary for the preservation and enjoyment of a use that is possessed by other properties throughout the City. The applicant states that the variance is necessary for the following reason as submitted on the application and in the public hearing:

The variance will allow the school to operate with some of the amenities that are afforded and expected in other schools. Magnolia School was established in 2002 and it has been a top quality school. It provides top

quality education to kids resides in lesser affluent communities with few school options. The school is in an urban setting and both the school personnel and students make the best out of what they have.

In considering that Magnolia School has a satisfactory track record of maintaining a lunch area in the subject parking lot for the past ten years from 2005, and the school is a charter school without a facility designed for a school use. This constitutes a continual use in a property with a practical difficulties.

Therefore, for the reasons cited above, the variance is necessary for the preservation and enjoyment of a substantial property right or use generally possess by other property in the same zone and vicinity but which, because of the special circumstances, practical difficulties, and unnecessary hardships, is denied to the property in question.

4. **The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone or vicinity in which the property is located.**

The applicant is seeking permission to continue an existing use at the same location. No evidence was submitted for the record that the operation of the use at the property has been detrimental to the public welfare. The granting of the variance with conditions allows the school to provide a space for students to be outside during designated hours and with appropriate supervision. As noted by the applicant, the building was not designed for school purposes. As such, there is no ability to provide open space for the students other than in the adjacent surface parking lot. The variance was conditioned to include a 10-year term, in acknowledgement that the use has operated in a compatible manner. A plan approval condition was added in the event there is evidence of continued violation of conditions, then the Office of Zoning Administration can require the applicant to file a plan approval to evaluate the effectiveness of the conditions. Based on the concerns raised in the public hearing, the Zoning Administrator amended several conditions to address water drainage, landscape, trash, special events and operational complaints in order to mitigate potential impacts. As conditioned, the granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone and vicinity.

5. **The granting of the variance will not adversely affect any element of the General Plan.**

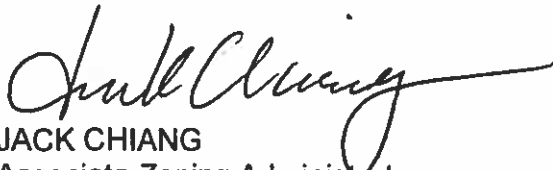
There are eleven elements of the General Plan. Each of these elements establishes policies that provide for the regulatory environment in managing the City and for addressing environmental concerns and problems. The majority of the policies derived from these Elements are in the form of Code requirements of the Los Angeles Municipal Code. Except for the entitlement described herein, the project does not propose to deviate from any of the requirements of the Los Angeles Municipal Code. The Land Use Element of the City's General Plan divides the city into 35 Community Plans. The Reseda-West Van Nuys Community Plan map

designates the property for Community Commercial land uses, with corresponding zones of CR, C2, C4, RAS3, RAS4, P, and PB, and Height District No. 1L. The property is located within the Reseda Central Business District Community Design Overlay and the application is not affected.

The Reseda-West Van Nuys Community Plan encourages uses which provide necessary goods, services, and local job opportunities. The granting of the variance to allow the continued use and maintenance of a student lunch, recreation, and drop-off/pick-up area within the [Q]P-1L Zone is consistent with Policy 4-1.1 of the Reseda-West Van Nuys Community Plan, which states "explore creative alternatives for providing new school sites in the city, where appropriate." The school has repurposed underutilized commercial and parking space. In light of the above, the project substantially conforms to the purpose, intent and provisions of the General Plan and the Reseda-West Van Nuys Community Plan.

#### **ADDITIONAL MANDATORY FINDINGS**

6. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.
7. On March 2, 2015, a Reconsideration (ENV 2005-3788-MND-REC2) for the previously issued Mitigated Negative Declaration (ENV 2005-3788-MND) was prepared for the proposed project. On the basis of the whole of the record before the lead agency including any comments received, the lead agency finds that with imposition of the mitigation measures described in the MND (and identified in this determination), there is no substantial evidence that the proposed project will have a significant effect on the environment. I hereby adopt that action. This Mitigated Negative Declaration reflects the lead agency's independent judgment and analysis. The records upon which this decision is based are with the Planning Department in Room 351, 6262 Van Nuys Boulevard.

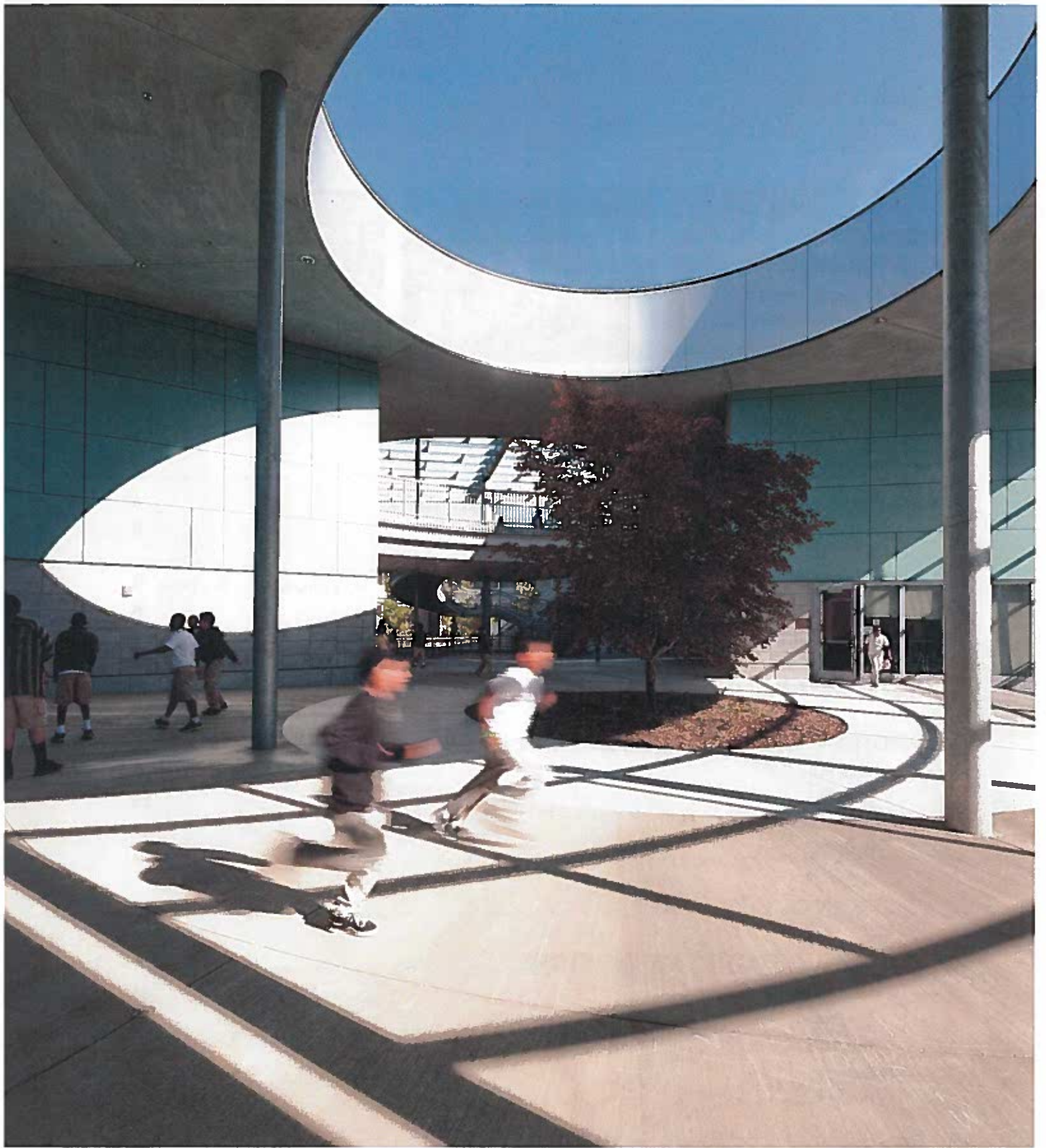


JACK CHIANG  
Associate Zoning Administrator  
Direct Telephone No. (213) 978-0195

JC:lmc

cc: Councilmember Bob Blumenfield  
Third District  
Adjoining Property Owners





gkkworks



## Magnolia Science Academy 1 Reseda Campus

Master Planning Consulting Services

Proposal - January 12, 2018





**COVER LETTER..... 1**

**GENERAL INFORMATION..... 3**

    Overview and History..... 4

    Areas of Expertise..... 5

**MASTER PLANNING EXPERIENCE..... 6**

    Working within the City of Los Angeles..... 6

    Master Planning Experience..... 7

**REFERENCES.....21**

**PROJECT APPROACH/TIMELINE .....22**

    Work Plan..... 22

    Timeline..... 25

**RESUMES.....26**

**INSURANCE COVERAGE .....32**

**BUDGET AND COST OF SERVICES.....34**

    Planning Scope..... 34

    Fee Proposal..... 35

    Deliverables..... 35

    Exclusion..... 35

    Hourly Rates..... 36

**PROPOSED CONTRACT.....37**

Timothy Buresh  
Project Manager  
Magnolia Science Academy 1 Reseda Campus  
18238 Sherman Way  
Reseda, CA 91335

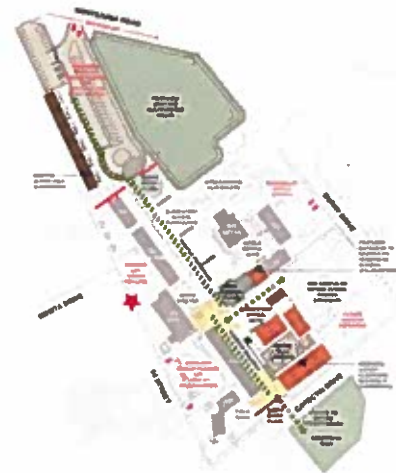
**Re: Request for Proposals Master Planning Consulting Services Magnolia Science Academy 1 Reseda Campus**

Dear Tim and Members of the Selection Committee:

gkkworks would be honored to work with Magnolia Science Academy Charter on its Facility Master Plan. Your vision "...graduate students who are scientific thinker" resonates deeply with us. We are excited about the unique opportunity to transform your existing campuses to accommodate your educators, students, community aspirations and demonstrate support for students in their quest to learn and grow.

With gkkworks you will receive the following benefits:

- **K-12 Experience:** Our proposed K-12 studio team members bring educational expertise and knowledge of facilities, programing, master planning, 21<sup>st</sup> century school designs, modernization, and new construction that represents **more than \$850 M of K-12 projects for 40 California school districts.**
- **Long Range Facilities Master Planning (LRFMP) Experience:** Over the last ten years our proposed team has successfully completed several comprehensive LRFMPs for Public Charter School districts that achieved broad-based community participation and support. We utilized all the latest technologies, as well as tried-and-true techniques, to encourage transparent communication and feedback. In the end, we facilitated consensus among stakeholder groups prioritizing districts' goals and projects.



Language Academy K-8



- **Collaborative Process:** The District's stakeholders will be engaged through customized participatory planning and proven solution-oriented methodologies. **It is important to us that you, your users', students', and the communities' visions are incorporated into the process. We see ourselves as your partner sharing our experience in the process. Together we establish shared goals for academic vision, fiscal responsibility, and sustainable practices.**

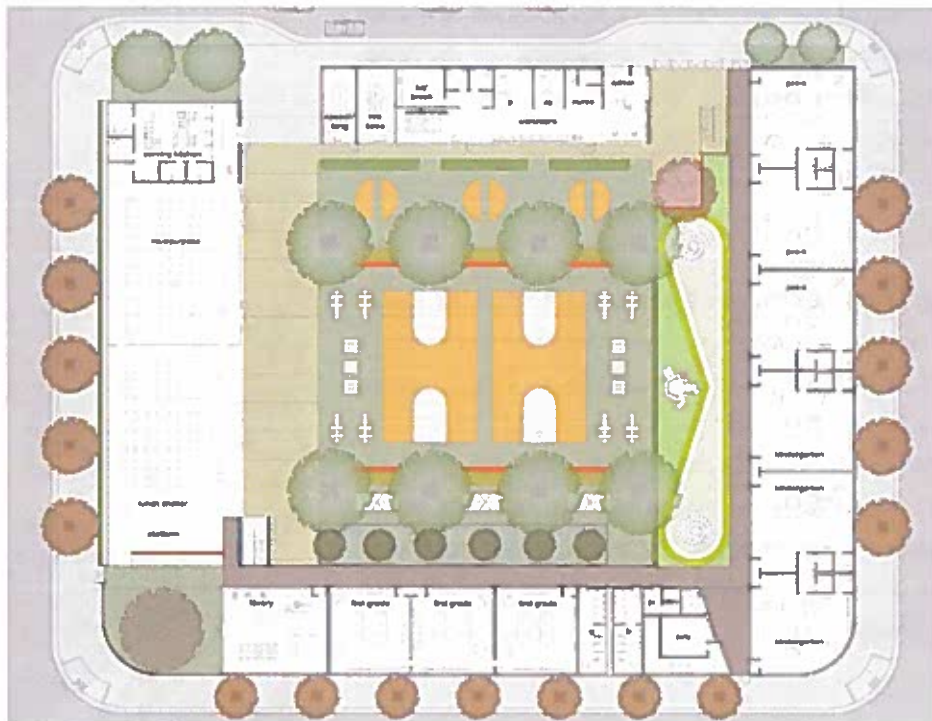
Our proposed team members look forward to partnering with your team to create innovative project solutions to help realize your vision of 21<sup>st</sup> Century learning and garner your trust.

You may contact me at [jnabili@gkkworks.com](mailto:jnabili@gkkworks.com) if you have any questions.

Sincerely,



Javan Nabili, AIA, Principal-in-Charge, gkkworks



ACES Charter School





## GENERAL INFORMATION

### AT A GLANCE

**Year Founded:**

1991

**Number of Employees:**

145

**LEED AP:**

25

**LEED/CHPS Projects:**

50+

***OUR MISSION:** To partner with you to imagine and create the best possible places to learn.*

Providing tangible, creative solutions that enable educators to operate at their “highest level” is a core value embedded into our firm’s culture and a unique benefit that we bring to Magnolia Science Academy. As your partner, we will support Magnolia’s vision by creating quality learning environments for your faculty, families and foremost the students.

It will be gkkwork’s goal to provide the latest information and techniques for Magnolia Science Academy’s Master Planning Consulting Services. gkkworks understands the need to create teaching and learning environments aligned with 21<sup>st</sup> century instructional standards that meet and exceed the district’s and community’s needs. Reconfiguring classrooms to enhance visual/auditory/physical/spatial accommodations for special education students, along with flexible accommodation of new technology and furniture that facilitates flexible grouping and collaborative learning are part of the future learning strategy.

# GENERAL INFORMATION



## CLIENT QUOTE

"The gkkworks team has developed an excellent rapport with the staff and program manager throughout the course of design and construction."

**Michael Christensen**  
Superintendent (Retired)  
Orange Unified School District

## OVERVIEW AND HISTORY

Creating value for projects, gkkworks is built on a reputation of providing unparalleled service, attention to quality and a flexible approach to addressing specific project needs. Established July 19, 1991, we bring more than 25 years of extensive educational experience. Our breadth of knowledge includes working with public K-12 school districts throughout Southern California. gkkworks has 145 employees company wide with offices in Pasadena, Irvine, San Diego, and Denver, Colorado.

## OFFICE LOCATION

Located within an hour's drive from the District's location, we will respond to any meeting or project site visit requests within a very short amount of time, which will prove to be a valuable benefit. Javan Nabili, AIA will be the Principal-in-Charge and Blair Ripplinger, AIA will be the Senior Project Manager serving as the day-to-day project contact. They can be contacted at the following address:

155 S. Fair Oaks  
Pasadena, CA 91105

T: 626 666 6906

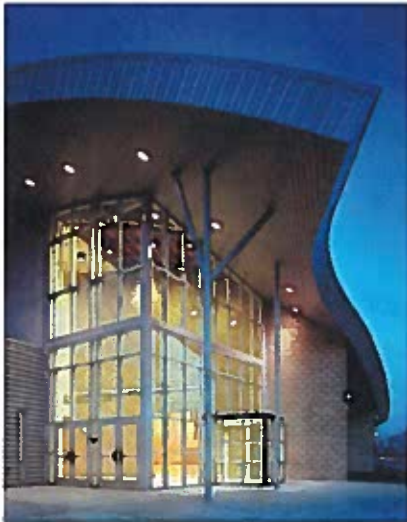
F: 626 666 3940

E: [jnabili@gkkworks.com](mailto:jnabili@gkkworks.com) / [briplinger@gkkworks.com](mailto:briplinger@gkkworks.com)

# GENERAL INFORMATION



Camino Nuevo Charter K-8



Colin Powell Academy Gymnasium,  
Long Beach USD

## AREAS OF EXPERTISE

### CALIFORNIA PUBLIC SCHOOLS EXPERIENCE

gkkworks provides services for California public schools similar to those requested by the District, and has completed over \$850 Million in new educational facilities. Dedicated to producing functional and exciting designs for your projects, we have 30 years of focused school design experience (public and private) and the capacity to complete your projects on time and on budget. We have executed design and master plans for 40 California K-12 schools and several charter schools, including but not limited to: Ocean Charter K-8, Monsenor Oscar Romero K-8, ACES Accelerated Charter K-5, Camino Nuevo K-8, Cleveland Charter High School, and Pallsade Charter High School.

We work with educators and communities to formulate a revitalized 21<sup>st</sup> Century classroom environment, which is the pride of educators, parents and students. We are at the forefront of evidenced-based education design and our project team collaborates actively with educators to apply its knowledge to the academic curriculum. Our proposed team will collaborate with Brea Olinda USD to create flexible learning environments aligned with your mission. We have won numerous awards for designs that foster better learning environments and for aesthetic solutions that improve communities. We are experts in the local and state agencies approval process having completed hundreds of school projects.

### SUSTAINABLE DESIGN, LEED AND CHPS EXPERIENCE

gkkworks believes that good design is sustainable design. Our goal is to balance human needs, economic requirements and environmental responsibility in every step, every project, no matter how small or large. Sustainability is at the core of our design philosophy. We believe in being stewards of our environment.

We have over 25 LEED Accredited Professionals on staff to assist clients and deliver LEED certified projects from their inception to design and through construction to occupancy. gkkworks has developed over 50 LEED Certified buildings.





## MASTER PLANNING EXPERIENCE

*On the following pages, we are proud to showcase some of our recent projects that demonstrate our relevant design experience.*

## WORKING WITHIN THE CITY OF LOS ANGELES

Our team breadth of 30 years K-12 knowledge includes familiarity with Federal/State/Local applicable code requirements, with close and successful working relationships with City of Los Angeles when we were working on Camino Nuevo Charter K-8, Ocean Charter School, and CHAMPS projects.

**OCEAN CHARTER SCHOOL, NEW K-8 CAMPUS**  
LOS ANGELES, CA



**PROVIDING A SECURE  
INNER CITY LEARNING  
ENVIRONMENT**

**Owner Contact**

Kristy Mack-Fett  
Director, Ocean Charter School  
310.348.9050  
mskristy@oceancs.org

**Construction Cost**

\$41 M

**Completion Date**

2019

The new K-8 Ocean Charter School campus will be constructed on the newly acquired 2.1 acre site located at 12870 Panama Street in the community of Del Rey in the City of Los Angeles. The project site is surrounded by residential and industrial / commercial / office uses. The existing industrial buildings on site will be removed for the new campus with approximately 57,000 sf of school building and 24,000 sf of underground parking. The program includes 19 classrooms, 7 specialty classrooms, administrative and support spaces and an MPR/Gymnasium.

Fundamental to the curriculum at Ocean Charter School is the Waldorf philosophy of whole child learning, centered on academic achievement, with special emphasis on teaching ecological and social responsibility, nurturing a sense of wonder with respect for nature and humanity, while fostering creativity and imagination. A collaborative design process ensured that the uniqueness of their educational program is reflected and supported by their new teaching and learning environment.



**ACCELERATED CHARTER ELEMENTARY SCHOOL**  
 THE ACCELERATED SCHOOL (TAS)



**PROVIDING A SECURE  
 INNER CITY LEARNING  
 ENVIRONMENT**

**Owner Contact**

Jonathan Williams  
 Founder, ACES  
 323.235.6343 x2607  
 jwilliams@accelerated.org

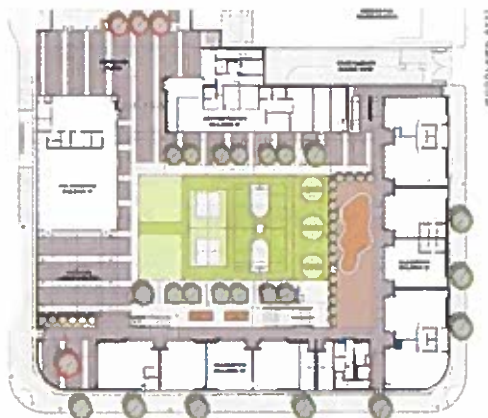
**Construction Cost**

\$25.14 M

**Completion Date**

2016

The design team included in this proposal was responsible for this two-story, 39,000 SF charter school which includes kindergarten to sixth grade. The urban site is addressed through the use of a large courtyard building that excludes the busy public street, while creating a sense of place and developing a sense of community among the students. A multipurpose room and kitchen takes center stage and works for activities including: school performances, celebrations and indoor food service. The program also includes administration areas, faculty rooms, and counseling space, as well as a 59,000 SF, subterranean two-story, 235-space parking garage. The design phase was completed and submitted to DSA within four months to secure Proposition 55 funding by January 1, 2013. The project also received funding through the LAUSD Charter Grant Augmentation program. This project has a LEED Silver certification goal.



## CAMINO NUEVO K-8 CHARTER ACADEMY

### KAYNE SIART CAMPUS



#### SECURING PROP 55 FUNDS/EXPEDITING DESIGN TO DSA

##### Owner Contact

Patrick Ontiveros,  
Project Manager  
Pacific Charter School  
Development  
323.490.0701  
pontiveros@gmail.com

##### Construction Cost

\$19.7 M

##### Completion Date

2015

Our core education team provided architectural design services, and our construction services team provided construction management-at-risk services for this new two-building 46,800 SF charter K-8 school.

The facility includes classrooms, administrative space, food service, a multipurpose room, library, science labs, and fine arts classrooms. Sitting on a site just over 2 acres and being bordered by a public park, residential properties, and commercial spaces created a restricted access problem that was solved by the site access, safe drop-off, and parking configuration. The project also includes the partial widening of Third Street to allow for easier public traffic past the project and parent/staff access to the school. The efficient use of a two story building configuration also enables the campus to fully realize the exterior athletic spaces as intended in the original program. The project planning and design phases were completed within 4 months and submitted to DSA on December 15, 2011, in order to secure Proposition 55 funding by January 1, 2013.

**MONSEÑOR OSCAR ROMERO  
YOUTH POLICY INSTITUTE**



**CO-LOCATED SCHOOL  
ON IMPACTED CAMPUS  
WITH SUBTERRANEAN  
PARKING**

**Owner Contact**

Hope Fang  
Senior Project Manager  
Pacific Charter School  
Development  
213.542.4715  
hope@pacificcharter.org

**Construction Cost**

\$19.5 M

**Completion Date**

2018

The team included in this proposal has been involved with this two-story 32,000 SF new charter school. gkkworks was selected for the design and construction of a new charter school facility on the Berendo Middle school campus, which will serve as a permanent facility for 450 students in 6th to 8th grade. The new facility will be 32,000 SF on an 85,000 SF site. The scope includes 16 classrooms, administration, lunch shelter, multipurpose room, play area, staff/visitor subterranean parking lot and on site student drop off. This project is a state funded project under Proposition 1D, and has also received an LAUSD Augmentation Grant.





**BLAIR INTERNATIONAL BACCALAUREATE MIDDLE SCHOOL**  
PASADENA UNIFIED SCHOOL DISTRICT



**CREATING A NEW  
COMMUNITY ORIENTED  
MIDDLE SCHOOL WITHIN  
A LARGER CAMPUS  
SETTING**

**Owner Contact**

Stephen L. Brinkman  
Former Chief of Facilities  
408.465.3212  
brinkman@garlic.com

**Construction Cost**

\$14.8 M

**Completion Date**

2011



*This project received a  
CASH Award of Excellence.*

Our core team as shown in this proposal also worked together on the Blair International Baccalaureate Middle School. The school consists of a new classroom building for 800 students. The project master plan also completed by gkkworks included the middle school as part of a larger campus with shared adjacency to the elementary school, the high school gymnasium, athletic fields, and support services. The middle school, completed in 2011 and within 24 months, is a LEED Silver rating that has exceeding Title 24 by 28.9%. The school was selected as one of six for the annual Architectural Record "Schools of the 21<sup>st</sup> Century" classrooms. Flexibility, natural light, outdoor teaching spaces and creating a safe and welcoming middle school were the drivers behind this design.



**BLAIR INTERNATIONAL BACCALAUREATE MIDDLE SCHOOL**  
PASADENA UNIFIED SCHOOL DISTRICT





## LANGUAGE ACADEMY K-8

### SAN DIEGO UNIFIED SCHOOL DISTRICT



### CREATING FLEXIBLE INDOOR-OUTDOOR TEACHING

**Construction Cost**  
\$10.9 M

**Completion Date**  
2013

This kindergarten through eighth-grade school focuses on French and Spanish language programs. The existing kindergarten classrooms were small and lacked innovative teaching capabilities; many were still located in portables classrooms. The campus is surrounded by a residential neighborhood on three sides. The six kindergarten classrooms and eight elementary classrooms include support spaces, new hardscape, landscape and play spaces and equipment. **The joint-use program coordination was done by our team, the district, the City of San Diego and other local agencies. Multiple community meetings and “charrettes” were performed until an optimal solution was achieved.**

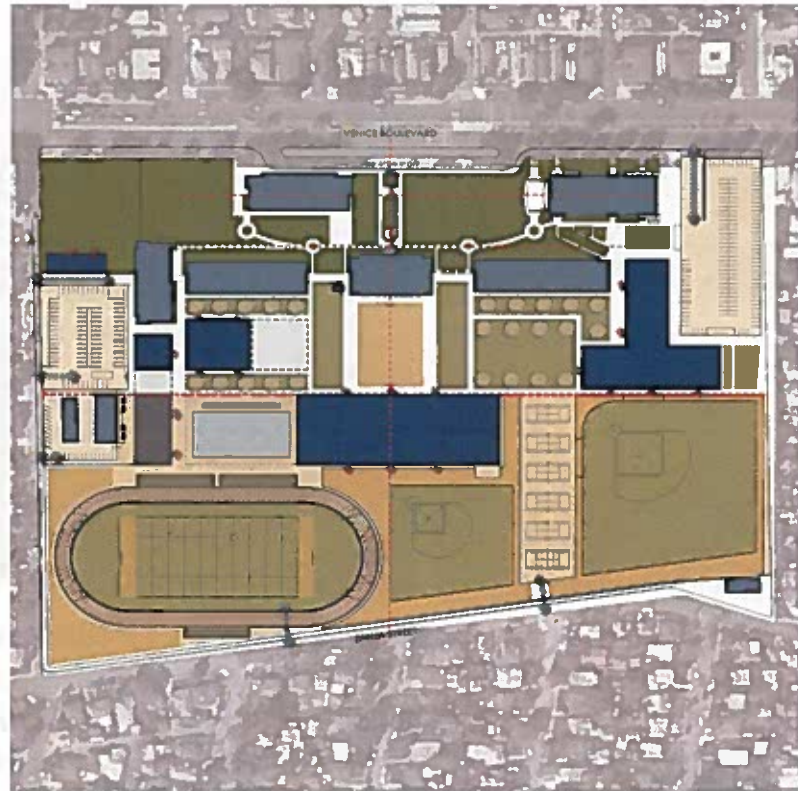
**The building is designed to be inviting and embraces the visual axis through a pathway “promenade,” connecting all existing buildings and the new campus elements along a spine of connectivity to the heart of the campus. This project achieved 37 CHPS points.**

**LANGUAGE ACADEMY K-8**  
SAN DIEGO UNIFIED SCHOOL DISTRICT





## VENICE HIGH SCHOOL MASTER PLAN/NEW/MODERNIZATION LOS ANGELES UNIFIED SCHOOL DISTRICT



### MASTER PLAN & COMPREHENSIVE MODERNIZATION OF 100- YEAR OLD HIGH SCHOOL

#### Owner Contact

Kenneth A Rossi  
Senior Design Manager  
Los Angeles USD  
213.241.6489  
kenneth.rossi@lausd.net

#### Construction Cost

\$111 M

#### Completion Date

2016 / 2018

gkkworks was selected by Los Angeles Unified School District to provide a Comprehensive Facilities Study along with a Master Plan at Venice High School. The Comprehensive Modernization Project addresses the facility conditions that require improvements or new construction in order to ensure that students are provided with safe healthy learning environments while maintaining the school's ability to deliver instructional program and operational needs. The Master Plan documents develop options for modernization or new construction where existing buildings and/or building systems required significant upgrades. Detailed seismic evaluations were completed for AB300 facilities. The master planning project resulted in awarding \$111 million dollars to address safety issues, utility infrastructure upgrades, historical modernization for ADA accessibility, new academic buildings for 21<sup>st</sup> century learning, and a new athletic sports complex.

## VALLEY ACADEMY OF ARTS AND SCIENCES

### LOS ANGELES UNIFIED SCHOOL DISTRICT



#### NEIGHBORHOOD USE OF SCHOOL ORGANIZED IN LEARNING COMMUNITIES

##### Owner Contact

Russell McCarley  
Design Manager, LAUSD  
213.241.6450  
russell.mccarley@lausd.net

##### Construction Cost

\$74 M

##### Completion Date

2011

Valley Academy of Arts and Sciences is a comprehensive high school for over 1,200 students on a compact 8-acre, 140,000 SF site. Classrooms and science laboratories are clustered into small learning areas centered on the arts and sciences within individually focused, intimate learning environments. **This school has become one of LAUSD's "Small Learning Community" concept schools.** As part of a joint-use program with the neighboring community, adjacent parking for community use was planned in order to enjoy special events and theater performances held on the campus.

Neighborhood interests are also met by providing access to the gymnasium and athletic fields after school hours. The buildings are situated to create an intimately scaled courtyard where all activities, dining, and classroom access are part of an interior court "street scape". A central outdoor stage anchors the courtyard providing opportunities for performing arts.



**PACIFIC RIDGE SCHOOL**  
CARLSBAD, CA



**EXPANDING THE LEARNING EXPERIENCE TO THE OUTDOORS**

**Construction Cost**  
\$20 M

**Completion Date**  
2015

Pacific Ridge is a private middle school located in Carlsbad, California. Opened in 2007, Pacific Ridge was founded on the principal of providing “an excellent college preparatory education” in Coastal San Diego County. The campus is designed to promote an integrated curriculum and the open campus design encourages a fluid exchange of ideas.

gkkworks provided the campus master plan and design of new permanent buildings for the Middle School, Administration, Visual and Performing Arts, Library and a 350 seat multi-purpose theatre. The combined program has added 6,200 SF. The campus will evolve to include exterior learning and active environments.



**GARFIELD HIGH SCHOOL PERFORMING ARTS ACADEMY**  
LOS ANGELES UNIFIED SCHOOL DISTRICT



**NEW BUILDINGS  
COMPLIES WITH CTE &  
CHPS GUIDELINES**

**Owner Contact**

Aman Vaish  
Project Director, LAUSD  
213.241.4594  
aman.vaish@lausd.net

**Construction Cost**

\$47 M

**Completion Date**

2014

The three-story Classroom and Administration Building is centered around a new main circular quad and outdoor classroom that serve as both the main entrance to the campus, as well as forecourt to the new 1,300 seat Performing Arts Theater Building. All classrooms receive diffused north facing light, are accessed from an exterior communal learning area, and provide flexible classroom configurations for teaching on all four walls.

The new state-of-the-art Theater Building features a main stage performance space, as well as a production studio, and flexible black box theatre that provides critical career technical education (CTE) to its students. The project features four public art components that celebrate the learning experience, along with honoring important teachers and students from the District and the school. **The buildings comply with standards and exceed the CHPS guidelines.**

## SUSAN MILLER DORSEY HIGH SCHOOL LOS ANGELES UNIFIED SCHOOL DISTRICT



### NEW BUILDINGS COMPLIES WITH CTE & CHPS GUIDELINES

#### Construction Cost

\$28 M

#### Completion Date

2014

The Dorsey High School Redevelopment project is LAUSD's first design-build project and consists of a new ninth grade academy classroom building, a new competition gymnasium, and renovation and refitting of the original gymnasium building.

Revitalization and expansion of the existing campus enhances the architectural quality of the public realm for both the campus and the neighborhood that it serves. Through an integrated design process the team provided state-of-the-art learning environments that easily adapt to new technology. A range of learning opportunities are achieved through interior and exterior teaching stations which encourage positive social interaction. The design also aims to sustain concentration and joy in learning while providing space that will adapt to future program modifications. **The gkkworks team used CHPS as a guideline and attained LEED Silver certification for both the gym and classrooms.**



## CANYON HIGH SCHOOL FACILITIES MASTER PLAN ORANGE UNIFIED SCHOOL DISTRICT



### MASTER PLANNING FACILITIES NEEDS ASSESSMENT & ARCHITECTURAL SERVICES

#### Owner Contact

Michael Christensen  
Retired Superintendent  
Orange Unified School District  
909.717.0625

#### Construction Cost

\$95 M

#### Completion Date

In Progress



gkkworks was selected by Orange USD to provide master planning, facilities needs assessment and schematic design documents for Canyon High School. **The Long Range Facilities Master Plan (FMP) identifies the current assessment of school buildings and prioritizes needs for better utilization of current facilities. The FMP also outlines integration of improvements in areas such as technology, maintenance, safety, security and energy management.** The team performed all pre-planning work associated with the development of a high school facility master plan including facilities needs assessment, education specifications, cost estimates, identification of funding options and recommendations for the prioritization of facility needs. Identification of State funding eligibility, energy efficiency program grants, partnerships and potential funding programs were also identified as part of the planning process. Diverse communications to various constituent groups such as the public community outreach team and the District's Citizens' Bond Oversight Committee helped the team build consensus through collaboration.

# REFERENCES



## OCEAN CHARTER SCHOOL

A new K-8 charter school construction in the City of Los Angeles.

**Kristy Mack Fett, Director**

Ocean Charter School

310.348.9050

[mstkristy@oceancs.org](mailto:mstkristy@oceancs.org)



## ACES ACCELERATION CHARTER SCHOOL

New school construction to consolidate and expand the school into a state-of-the-art Pre-K through 6th grade facility.

**Jonathan Williams, Founder**

ACES

323.235.6343 x2607

[jwilliams@accelerated.org](mailto:jwilliams@accelerated.org)



## CAMINO NUEVO CHARTER ACADEMY

Development of a new campus for an existing K-8 charter school.

**Patrick Ontiveros, Project Manager**

Pacific Charter School Development

323.490.0701

[pontiveros@gmail.com](mailto:pontiveros@gmail.com)



## MONSEÑOR OSCAR ROMERO CHARTER

Design and construction of a new charter school facility on the Berendo Middle School campus to serve as a permanent facility.

**Hope Fang, Senior Project Manager**

Pacific Charter Development

213.542.4715

[hope@pacificcharter.org](mailto:hope@pacificcharter.org)



## VENICE HIGH SCHOOL

Comprehensive Facilities Study / Master Plan including historical restoration, modernization & expansion, seismic upgrades.

**Kenneth A. Rossi, Senior Design Manager**

Los Angeles Unified School District

213.241.6489





## PROJECT APPROACH / SCHEDULE

### WORK PLAN

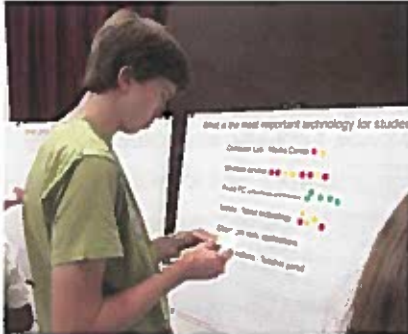
gkkworks believes the critical, initial document and process for a successful and efficient project is the Work Plan. The Work Plan will incorporate goals, expectations, schedules and responsibilities of the stakeholders. It will be a vehicle to interface with the team, list decision making criteria, and will be a communication network that informs faculty and staff, students, administration and the design team.

gkkworks' team combines 30 years of experience to specifically address the need to:

- Engage the community and facilitate consensus
- Evaluate existing conditions, from a facilities standpoint, as well as an educational perspective
- Plan a School of the 21st Century and create a vision for the project that is communicated and excites the community, faculty and students with inspiring new possibilities a re-generated campus environment can provide through proper investment



# PROJECT APPROACH / SCHEDULE



Community Participation



A well-conceived long range facilities master is an integral component of any significant strategic planning initiative. Magnolia's facilities master plan will provide a road map for the organized growth of Programs, while providing flexibility and expandability for changes due to technology advances, education innovation and local community opportunities. This plan will be the catalyst for a broad Community rebirth.

## STEP 1: DATA COLLECTION / BACKGROUND INFORMATION

The beginning of the Facility Master Planning Process involves compiling and organizing academic, and facility information in an understandable form. The aforementioned information is collected and a background report is developed and served as a resource and reference guide for Magnolia educators and staff. This will help our team better understand the needs of the campus and take a proactive approach in addressing those needs. An important element of this process is to reach out to various stakeholders to solicit input and better understand the varying priorities of each stakeholder. The collaborative process of engaging the community, user groups and advisory committee through multiple public forums and online surveys will include:

- Fact Finding/Outreach/Survey
- Visioning/Priorities
- City, Zoning, CIM
- Master Planning Options

# PROJECT APPROACH/ SCHEDULE



## STEP 2: OVERALL PLANNING STUDY

A well-conceived planning approach is an integrated component of any significant strategic planning initiative. It will provide a road map for organized campus growth, provide flexibility and expandability for technology, and allow education innovation and local community opportunities, which will be the catalyst for a broad campus rebirth.

- Engage faculties, students, to facilitate consensus.
- Evaluate existing conditions, from a facilities standpoint and educational perspective, City and zoning requirements
- Plan a School of the 21<sup>st</sup> Century and create a vision for the project that is communicated and excites the faculty and students with inspiring new possibilities that a re-generated campus environment can provide through proper investment.

**Creating 21<sup>st</sup> Century Learning Environments** - The Educational Specifications process describes the approach used to develop indoor and outdoor future teaching stations.

**Design Flexible Universal Classrooms** - The majority of classrooms in most grade K-12 schools are now "universal classrooms," seen as instruments to learning and are designed to maximize exploratory, group interaction among students.

**Confirm Facilities Master Plan Vision** - The initial step of partnering with faculty, and staff to define scope. We believe in a visioning session to develop a roadmap to achieving your goals. During this meeting, we gather the team to take a macro-level looks at the project. Through facilitated discussions, we identify the overall potential of the project, establish goals, and build consensus.

# PROJECT APPROACH/ SCHEDULE



## STEP 3 FINAL DELIVERABLE / BOARD APPROVAL

As your architect, we will immediately work with your team to develop following specific planning approach in accordance with the requirements set for in January 3rd RFP:

- Study existing condition, zoning requirements
- Site utilizations study, capacity analysis, alley traffic options
- Campus visioning session / programing / growth
- Test fit program options adjacencies for school and city parcels
- Planning options for Magnolia and City joined us facilities (Ice skating...)
- Review options with zoning consultants CIM & City
- Presentations, 3D massing study for Magnolia Board and City Planning

## TIMELINE

STEP 1 2 MONTHS	STEP 2 4 MONTHS	STEP 3 2 MONTHS
DATA COLLECTION / BACKGROUND INFORMATION	OVERALL PLANNING STUDY	FINAL DELIVERABLE / BOARD APPROVAL





## RESUMES

Each gkkworks team members believes that good design starts with great listening and collaboration. Transparency in our team building model allows us to achieve design solutions that meet a variety of needs, while fostering an atmosphere that is supportive and collaborative. By involving members of the larger campus community, a sense of investment and pride is created in the academic future of the school and its goals.

### CLIENT QUOTE

"It is with great pleasure and absolutely no reservation that I recommend the firm of gkkworks."

**Stephen Brinkman**  
Chief of Facilities  
Pasadena USD

Our team is built on a reputation of providing unparalleled service, attention to quality and a flexible approach to addressing specific project needs.

## PRINCIPAL-IN-CHARGE

### Javan Nabili, AIA

Javan has over 30 years of expertise dedicated to enhancing school facilities and learning environments for children. His experience in K-12 design and planning, and his organizational skills, enable him to successfully lead educational projects. Javan is especially experienced in working with California Public School agencies (OPSE, DSA, CDE, SAB) related to planning, design, and construction.

#### BACKGROUND

##### Education

Master of Architecture,  
School of Architecture and City  
Planning,  
National University of Iran

##### Registered Architect

C24035

##### Associations

Member, American Institute of  
Architects (AIA)

Member, Coalition for Adequate  
School Housing (CASH)

Board Member, Society of  
American Society of Engineering  
and Architects (ASEA)

#### RELEVANT PROJECT EXPERIENCE

##### Pueblo Nuevo Development (PND)

- Camino Nuevo K-8 Charter Academy

##### The Accelerated School (TAS)

- Accelerated Charter Elementary School (ACES)

##### Pacific Charter School District

- Monsenor Oscar Romero Charter School (6-8<sup>th</sup> grades)

##### Ocean Charter School, K-8

##### Hermosa Beach Cities Unified School District

- Long Range Master Plan

##### Pasadena Unified School District

- Facility Master Plan Blair IB Middle School
- Facility Master Plan Elliot Middle School
- Advanced Culinary Arts & Hospitality Academy

##### Los Angeles Unified School District

- Grover Cleveland Charter High School
- Palisades Charter High School
- Venice High School Master-planning
- Belvedere Middle School Master-planning
- Fairfax High School Master-planning
- Harry Bridges South Region K-8 School
- Lucille Roybal-Allard South Region K-5 ES
- North Hollywood Elementary School
- Monroe K-8 School

##### Glendale Unified School District, Master Plan & Needs

##### Assessment

##### Burbank Unified School District

- School District High School Replacement (New)
- Miller Elementary School Modernization



## SENIOR PROJECT MANAGER (DAY-TO-DAY CONTACT)

### Blair Ripplinger, AIA

Blair is a licensed architect with over 35 years of experience in educational facilities, office, healthcare, hospitality and mixed-use projects. He is passionate about understanding the vision for each project and motivating his teams to deliver exceptional results within the defined schedule and budget. Blair has also developed expertise in the State's Career Technical Education Facilities Program (CTEFP). CTEFP's purpose is to enhance educational opportunities for students and to provide them with the skills and knowledge necessary for the high demand technical careers of today and tomorrow.

#### BACKGROUND

##### Education

Bachelor of Architecture &  
Bachelor of Arts in Urban  
Geography/Fine Arts History,  
University of British Columbia,  
Canada

**Registered Architect**  
C21889

##### Associations

Member, American Institute of  
Architects (AIA)

#### RELEVANT PROJECT EXPERIENCE

##### Pueblo Nuevo Development (PND)

- Camino Nuevo K-8 Charter Academy

##### The Accelerated School (TAS)

- Accelerated Charter Elementary School (ACES)

##### Culver City Unified School District

- Educational Specifications & Facilities Master Plan

##### Hermosa Beach Cities Unified School District

- Long Range Master Plan

##### Pasadena Unified School District

- Blair International Baccalaureate Middle School
- Blair High School 9th grade classroom buildings

##### Los Angeles Unified School District

- Garfield High School Performing Arts and Classroom
- Richard N. Slawson Southeast Occupational Center
- Harry Bridges Span K-8 School
- Lucille Royball-Allard K-5 Elementary School
- Cleveland High School Small Learning Community (SLC) Renovation
- Crenshaw High School SLC Renovation
- North Hollywood High School SLC Renovation
- Verdugo High School SLC Renovation
- Carson High School SLC Renovation
- Reseda High School SLC Renovation
- South Gate Elementary School
- East Valley High School

## DIRECTOR OF EDUCATIONAL DESIGN / SENIOR PLANNER

### Devan Mitchell

Devan has over 20 years of senior project design experience with special emphasis in K-12 education design. Strong in both creativity and leadership, she is a guiding team member working to define and execute the vision of the client, while offering up new and innovative solutions specific to the educational model. Working from planning to conceptual design through construction on every project, Devan brings resourcefulness and cost effective development at all stages of design.

#### BACKGROUND

##### Education

Bachelor of Architecture,  
Southern Institute of Architecture

##### Associations

Associate Member,  
American Institute of Architects  
(AIA)

#### RELEVANT PROJECT EXPERIENCE

##### Pueblo Nuevo Development (PND)

- Camino Nuevo K-8 Charter Academy

##### The Accelerated School (TAS)

- Accelerated Charter Elementary School (ACES)

##### Pacific Charter School District

- Monsenor Oscar Romero Charter School (6-8<sup>th</sup> grades)

##### Los Angeles School District

- Grover Cleveland Charter High School
- Palisades Charter High School
- Venice High School Master Plan
- Belvedere Middle School Master Plan
- Luther Burbank Middle School (Gymnasium, Classroom & Auditorium)
- Lucille Royball-Allard South Region K-5 Elementary School
- Garfield High School (Auditorium & Classrooms)
- Susan Miller Dorsey High School

##### San Marino Unified School District, Needs Assessment

##### West Hills Community College District, Master Planning

##### Culver City Unified School District, Educational Specifications & Facilities Master Plan

##### Hermosa Beach Cities Unified School District

- Long Range Master Plan

##### Pasadena Unified School District

- Blair International Baccalaureate Middle School

## PRODUCTION DIRECTOR - QA / QC

### Vince Petito, AIA, LEED AP

Vince's passion is the successful delivery of architectural projects, from concept through construction and occupancy. He has extensive experience in managing a wide range of large and complex assignments, delivered in a variety of methods. He is an organized and experienced manager of educational, new construction, and renovation projects including planning and design, construction documents, and construction administration. As a Principal for gkkworks, Vince is instrumental in continuing to improve the quality of construction documents and developing our internal Quality Assurance program.

#### BACKGROUND

##### Education

Bachelor of Architecture,  
California Polytechnic State  
University, San Luis Obispo

Associates Degree, Architecture  
Los Angeles City College

##### Licensed Architect

C14811

##### Associations

American Institute of Architects  
(AIA)

LEED Accredited Professional

#### RELEVANT PROJECT EXPERIENCE

##### Accelerated Charter Elementary School (ACES)

The Accelerated School (TAS)

##### Los Angeles Unified School District

- Susan Miller Dorsey High School Redevelopment
- Richard N. Slawson Southeast Education Center
- Garfield High School New Performing Arts Theatre and Classroom Administration Building
- Lucille Roybal-Allard South Region K-5 ES
- Luther Burbank Middle School

##### Pasadena Unified School District

- District-wide Master-planning
- Blair IB Middle School & High School

##### Burbank Unified School District

- Burbank High School Reconstruction
- Modernization & Expansion of 8 Elementary schools

##### Glendale Unified School District

- Hoover High School
- Glendale High School
- Cerritos Elementary School
- New Edison Elementary School

##### San Bernardino City Unified School District

- Wilson Elementary School
- Lytle Creek Elementary School

##### Encinitas Union School District

- Olivenhain Pioneer Elementary School
- El Camino Creek Elementary School
- La Costa Heights Elementary School

##### Antioch Unified School District

- Carmen Dragon Elementary School

## SENIOR DESIGNER / SUSTAINABILITY

### Athenel Trazo, LEED AP

Athenel has extensive design experience with educational, residential, and master planning projects. She has expertise in approaching and resolving projects at both urban and community scales, and then following through on an architectural level. Her strengths include strong interpersonal, team leadership, time management, organization, and graphic and verbal communication skills.

#### BACKGROUND

##### Education

Master of Architecture,  
Academy of Art University

Bachelor of Architecture,  
University of Southern California

##### Associations

LEED Accredited Professional

#### RELEVANT PROJECT EXPERIENCE

##### Ocean Charter School, K-8

##### Los Angeles Unified School District

- Grover Cleveland Charter High School
- 156<sup>th</sup> Street Elementary School
- Venice High School Master Plan & Modernization
- 9<sup>th</sup> Street Elementary School\*
- Para Los Ninos Middle School\*
- Ocean Charter School (LAUSD)
- New K-8 Campus

##### Ontario-Montclair School District

- De Anza Middle School Health and Learning Center
- Vernon Middle School Health and Learning Center

##### Los Angeles Community College District

- Trade Tech College Culinary & Multi-purpose Building\*
- Los Angeles Valley College Community Services Center\*
- Los Angeles Valley College Gateway Building\*
- Los Angeles Mission College Center for Math & Science\*
- Los Angeles Mission College Media Arts Center\*
- Los Angeles Mission Culinary Arts Institute and Campus Bookstore\*

##### University of Southern California

- USC HMR Building Seismic Retrofit and Lobby Renovation\*

##### California State University, Los Angeles

- University Library Renovation\*

##### Cerritos College

- Campus-wide Shade Structures\*

*\*Experience with previous firm*





## INSURANCE COVERAGE

### CLIENT QUOTE

"This is a victory well won through the concerted, collective effort of an exceptional team focused on a single goal! On behalf of the entire TAS school community we offer our profound thanks to each and every one of you."

**Eric Johnson**  
The Accelerated School Board of  
Trustees President

gkkworks meets the required insurance coverage for the following:

- Comprehensive General Liability and Property Liability Insurance
- Comprehensive Automobile Liability Insurance
- Workers' Compensation and Employer Liability

Refer to the following page for Certificate of Liability Insurance.



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
07/07/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Willis Insurance Services of California, Inc. c/o 26 Century Blvd P.O. Box 305191 Nashville, TN 372305191 USA	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 1-877-945-7378		<b>FAX (A/C, No):</b> 1-888-467-2378
	<b>E-MAIL ADDRESS:</b> certificates@willis.com		
<b>INSURED</b> GKX Corporation 2355 Main St., Suite 220 Irvine, CA 92614 USA	<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC#</b>
	<b>INSURER A:</b> Valley Forge Insurance Company		20508
	<b>INSURER B:</b> Continental Casualty Company		20443
	<b>INSURER C:</b> Continental Insurance Company		35289
	<b>INSURER D:</b> National Fire Insurance Company of Hartford		20478
	<b>INSURER E:</b> AXIS Insurance Company		37273
<b>INSURER F:</b>			

**COVERAGES**                      **CERTIFICATE NUMBER:** W2982795                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> 0 GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	N	N	4030398324	07/01/2017	07/01/2018	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
B	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY	N	N	5086577152	07/01/2017	07/01/2018	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000	N	N	5086577149	07/01/2017	07/01/2018	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$
D	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	5086577166	07/01/2017	07/01/2018	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
E	<b>Professional Liability</b> Claims Made Retro Date	N	N	ML2768313012016	07/01/2016	07/16/2017	Per Claim 5,000,000.00 Aggregate 5,000,000.00 7/1/1991

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

### CERTIFICATE HOLDER

### CANCELLATION

Evidence of Coverage, for proposal purposes

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE  
*Andrea K. Birch*

© 1988-2015 ACORD CORPORATION. All rights reserved.

ACORD 25 (2016/03)

The ACORD name and logo are registered marks of ACORD

SR ID: 14805692

BATCH: 374540



## **BUDGET & COST OF SERVICES**

## **PLANNING SCOPE**

We developed the following scope of services in accordance with the requirements set forth in January 3rd RFP and our phone conversation on January 8th.

- Site visit review existing documents, zoning requirements
- Site utilizations study, capacity analysis, alley traffic options
- Campus visioning session / programing / growth
- Test fit program options adjacencies for school and city parcels
- Planning options for Magnolia and City joined us facilities (Ice skating...)
- Review options with zoning consultants CIM & City
- Presentations, 3D massing study for Magnolia Board and City



# BUDGET & COST OF SERVICES



## FEE PROPOSAL

Our estimated levels of effort for the scope of work described above are as follows:

Site visit review existing documents	\$2,500.00
Site utilizations study, capacity analysis, alley traffic options	\$4,800.00
Campus visioning sessions / Programing / Growth	\$2,800.00
Test fit program options on school and city parcel	\$4,800.00
Planning options for Magnolia and City parcel	\$12,500.00
Review planning options with zoning consultants CIM & City	\$3,000.00
Presentations, 3D massing study	\$13,600.00
Four (4) Meetings	\$3,500.00
<b>Total Fee</b>	<b>\$47,500.00</b>

## DELIVERABLES

Submit draft planning and 6 hard copy Final report and (electronic PDF)

## EXCLUSION

Consultants and engineering services are excluded



# BUDGET & COST OF SERVICES



Stanford Primary School



Valley Academy of Arts and Sciences

## HOURLY RATES

For additional related services not included in the above, gkkworks shall be reimbursed on time and materials based on the following standard hourly rates:

ROLE	RATE
Principal	\$250
Senior Project Manager	\$185
Senior Designer / Planner	\$170
Senior Project Architect	\$170
Technical Staff	\$135

Rates shall remain effective until January 1, 2019 and are subject to adjustment on an annual basis thereafter.

## REIMBURSABLE EXPENSES

Reimbursable expenses will be billed on a multiple of 1.10 times the expenses incurred in the interest of the project. We have a policy of not charging our educational clients for travel and telephone cost.

### CLIENT QUOTE

"Thanks to all of you. This level of cooperation is greatly appreciated and should be our standard of operation. I've followed the E-mails [for the Accelerated Charter Elementary School (ACES) project] and seen how collaboration can be successful even when there are somewhat complex engineering issues to be resolved. Great job."

**Doug Humphrey**  
Division of State Architect



## PROPOSED CONTRACT

Please refer to the following pages for a sample contract.

PROFESSIONAL CONSULTANT SERVICES AGREEMENT

\_\_\_\_\_ UNIFIED SCHOOL DISTRICT

COMPREHENSIVE FACILITIES MASTER PLANNING

Project Number: \_\_\_\_\_

THIS AGREEMENT, is made and entered into this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by and between the \_\_\_\_\_ UNIFIED SCHOOL DISTRICT, a municipal corporation, \_\_\_\_\_; hereinafter referred to as "District", and \_\_\_\_\_, a corporation, \_\_\_\_\_, California \_\_\_\_\_, hereinafter referred to as "Consultant."

WHEREAS, District is desirous of obtaining a professional architectural firm to prepare a Comprehensive Facilities Master Plan; and

WHEREAS, Consultant is a licensed architectural firm which represents itself as capable and qualified to provide desired services; and

NOW, THEREFORE, in consideration of the premises, the parties hereto agree as follows:

ARTICLE I – SCOPE OF SERVICES

Consultant agrees to provide complete master planning services in accordance with the attached Scope of Work and the Work Plan, which are attached hereto and incorporated herein by reference as Exhibit "A." All written products will be supplied in appropriate electronic format on disk.

ARTICLE II – DUTIES OF DISTRICT

District agrees to provide Consultant with such information as is possessed by the District and is normally supplied to consultants performing such services. Specifically, the District will provide access to prints of as-built record drawings of existing school and support facilities.

ARTICLE III – COMPENSATION

District agrees to pay Consultant for services faithfully rendered hereunder and itemized in Exhibit "B." Said sum shall be inclusive of all fees, costs and reimbursables attributed to the services to be provided as specified in Exhibits "A" and "B." Consultant shall advise the District prior to exceeding the limit and obtain written approval for an increase in such limit. Reimbursable expenses will be billed based on a multiple of 1.10 times the expense incurred by consultants in the interest of the project.

Consultant shall be paid for the services to be provided on a monthly basis within thirty (30) days after receipt of itemized invoices by the District.

**ARTICLE IV – INSURANCE REQUIREMENTS**

Consultant shall provided insurance per the "Insurance Requirements" the original of which is attached hereto and incorporated herein by this reference as Exhibit "C."

**ARTICLE V – NO AGENCY RELATIONSHIP**

No agency relationship between District and Consultant is intended or created by this Agreement. Consultant is not authorized and shall not at any time or in any manner represent that it is an agent, servant or employee of the District, it being expressly understood that Consultant is and at all times shall remain a wholly independent contractor.

**ARTICLE VI – TERM**

Consultant shall commence services required to be performed herein within ... (00) working days after receipt of District's Notice to Proceed. Services shall be complete within ..... working days after consultant has received the Notice to Proceed, except as extended by mutual agreement.

**ARTICLE VII – FINDINGS CONFIDENTIAL**

All of the reports, findings and conclusions prepared or assembled by Consultant under this Agreement are confidential, and Consultant agrees that they shall not be made available to any individual or organization without prior written approval of the District.

All reports and findings shall become the property of the District; but only for the purposes intended by this Agreement; however, no conclusions, opinions or studies provided by Consultant shall be made available to any other party except in connection with the original purpose of the assignment, without prior written approval of the District.

**ARTICLE VIII - TERMINATION**

This Agreement shall terminate upon completion of all services required herein, or at any time by mutual agreement. The Agreement may be terminated by either party upon not less than seven (7) days written notice should the other party breach or otherwise default under this Agreement and such breach or default remain uncured beyond any reasonable cure period. District, however, may terminate this Agreement at any time by Notice of Termination in writing to Consultant. In the event of such termination, Consultant shall deliver to the District all documents, files and records or copies thereof pertaining to any work which may be in progress and District shall pay to Consultant an amount which equitably reflects the proportion of work completed by Consultant on each assignment, provided that in no event shall the compensation paid pursuant to this paragraph exceed the amount which would have been payable pursuant to Article III of this Agreement.



ARTICLE IX - NOTICES

Any notice given pursuant to this Agreement shall be deemed received and effective when properly addressed, posted and deposited in the United States mail addressed to the respective parties as follows:

DISTRICT

\_\_\_\_\_ Unified School District  
\_\_\_\_\_ Street  
\_\_\_\_\_, California \_\_\_\_\_

CONSULTANT

\_\_\_\_\_  
\_\_\_\_\_ Boulevard  
\_\_\_\_\_, California \_\_\_\_\_

ARTICLE X - NON-ASSIGNABILITY

Consultant shall not assign any interest in this Agreement and shall not transfer any interest in the same whether by assignment or novation without prior written approval of District.

ARTICLE XI - EQUAL EMPLOYMENT

Consultant agrees that during the performance of this Agreement, they will not discriminate against any employee or applicant for employment because of race, creed, color, sex, age or national origin.

ARTICLE XII - CHANGES, AMENDMENTS AND MODIFICATIONS

No change, amendment or modification to this Agreement shall be effective unless in writing and signed by the District. Consultant shall be compensated based on standard hourly rates as specified in Exhibit "B."

ARTICLE XIII - ENTIRE AGREEMENT

This Agreement and any prior agreement, document or instrument attached hereto or referred to herein, integrate all the terms and conditions mentioned herein or incidental hereto, and supersede all oral negotiations and prior writings with respect to the subject matter hereof. In the event of any conflict between the terms, conditions and provisions of this Agreement in any such prior agreement, document or instrument, the terms, condition and provisions of this Agreement shall prevail.

**ARTICLE XIV - APPLICABLE LAW**

This Agreement shall be governed by, and construed under the laws of the State of California.

This Agreement may be executed in as many counterparts as may be deemed convenient, each of which, when so executed, shall be deemed an original.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date and year first above written.

Accepted by \_\_\_\_\_

\_\_\_\_\_ Date

\_\_\_\_\_, AIA, License #

.....  
Accepted by \_\_\_\_\_ UNIFIED SCHOOL DISTRICT

\_\_\_\_\_ Date

\_\_\_\_\_, Assistant Superintendent, Business Services

\_\_\_\_\_ Unified School District

SAMPLE



**gkkworks**

PASADENA | IRVINE | SAN DIEGO | RIVERSIDE | DENVER | INDIA

[www.gkkworks.com](http://www.gkkworks.com)



**Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works**



1           **PROFESSIONAL CONSULTANT SERVICES AGREEMENT - CAMPUS MASTER PLANNING**

2           **THIS AGREEMENT** is made and entered into this 2<sup>nd</sup> day of February, 2018, by and  
3 between Magnolia Educational & Research Foundation hereinafter referred to as “Client”, and  
4 GKK Works hereinafter referred to as “Consultant.”

5           **WHEREAS**, Client is planning the long term development of its MSA-1 Reseda campus;  
6 and

7           **WHEREAS**, Client is desirous of obtaining a professional architectural firm to provide  
8 comprehensive master planning services and to assist in obtaining zoning approvals for the  
9 MSA-1 Reseda campus; and

10           **WHEREAS**, Consultant is a licensed architectural firm which represents itself as capable  
11 and qualified to provide desired services; and

12           **NOW, THEREFORE**, in consideration of the premises, the parties hereto agree as  
13 follows:

14           **ARTICLE I – DUTIES OF CONSULTANT**

15           Consultant agrees to provide professional services in accordance with the attached  
16 Scope of Work which is described in **Exhibit A – Scope of Services** of this Agreement. This  
17 Agreement is based in part on the Consultant’s proposal for services which is incorporated into  
18 **Exhibit A**. The Consultant’s proposal for these services included a listing of key personnel which  
19 shall not be changed except with written permission of Client. The Consultant’s proposal does  
20 not anticipate the use of subconsultants. The addition of subconsultants to provide services  
21 under this Agreement shall require the prior authorization of the Client. Any subconsultants  
22 added to the Consultant’s team shall be required to comply with all of the terms of this  
23 Agreement.

24           **ARTICLE II – DUTIES OF CLIENT**

25           Client agrees to provide Consultant with such information as is possessed by the Client  
26 and is normally supplied to consultants performing such services. Specifically, the Client will  
27 provide access to as-built record drawings of the existing school and support facilities, copies of  
28 approved plans for the new high school building, copies of the ALTA site survey, copies of





Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works



1 documents related to description of the proposed Reseda Town Center project, and access to  
2 Client staff. Client will appoint a designated representative with authority to act on behalf of  
3 the Client in all matters related to this Agreement. The Client's designated representative for  
4 this Agreement is: **Tim Buresh** of PrimeSource PM, LLC. The Client may change its designated  
5 representative at any time by written notice to Consultant.

6 **ARTICLE III – COMPENSATION**

7 District agrees to pay Consultant for services rendered under this Agreement as  
8 described in **Exhibit B - Compensation** of this Agreement. Specified compensation shall be  
9 inclusive of all fees, costs and reimbursables attributed to the services to be provided as  
10 specified in **Exhibits A and B**. Consultant shall obtain Client written approval prior to exceeding  
11 the not to exceed limit specified in **Exhibit B** and shall obtain written approval for any increase  
12 in such limit. Consultant shall be paid for the services to be provided on a monthly basis within  
13 thirty (30) days after receipt of approved invoices by the Client. Consultant shall maintain  
14 accounting records related to this Agreement available for inspection by Client for a period of  
15 not less than two years after the termination of this Agreement.

16 **ARTICLE IV – INSURANCE REQUIREMENTS**

17 Consultant shall maintain insurance coverage for services provided under this  
18 Agreement in accordance with the requirements specified in **Exhibit C - Insurance**.

19 **ARTICLE V – NO AGENCY RELATIONSHIP**

20 No agency relationship between Client and Consultant is intended or created by this  
21 Agreement. Consultant is not authorized and shall not at any time or in any manner represent  
22 that it is an agent, servant or employee of the Client, it being expressly understood that  
23 Consultant is and at all times shall remain a wholly independent contractor.

24 **ARTICLE VI – TERM**

25 Services shall be performed in accordance with the schedule requirements contained in  
26 **Exhibit A** of this Agreement. Any change in overall duration beyond the time specified in  
27 **Exhibit A** requires prior written authorization from the Client. Consultant shall commence



Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works



1 services required to be performed herein within five working days after receipt of Client's  
2 Notice to Proceed.

3 **ARTICLE VII – FINDINGS CONFIDENTIAL**

4 All of the reports, findings and conclusions prepared or assembled by Consultant under  
5 this Agreement are confidential, and Consultant agrees that they shall not be made available to  
6 any individual or organization without prior written approval of the Client. All reports and  
7 findings and computer files shall become the property of the Client, but only for the purposes  
8 intended by this Agreement; however, no conclusions, opinions or studies provided by  
9 Consultant shall be made available to any other party except in connection with the original  
10 purpose of the assignment, without prior written approval of the Client.

11 **ARTICLE VIII - TERMINATION**

12 This Agreement shall terminate upon completion of all services required herein, or at  
13 any time by mutual agreement. The Agreement may be terminated by either party upon not  
14 less than seven (7) days written notice should the other party breach or otherwise default  
15 under this Agreement and such breach or default remain uncured beyond any reasonable cure  
16 period. Client, however, may terminate this Agreement at any time by Notice of Termination in  
17 writing to Consultant. In the event of such termination, Consultant shall deliver to the Client all  
18 documents, files and records or copies thereof pertaining to any work which may be in progress  
19 and Client shall pay to Consultant an amount which equitably reflects the proportion of work  
20 completed by Consultant on each assignment, provided that in no event shall the compensation  
21 paid pursuant to this paragraph exceed the amount which would have been payable pursuant  
22 to Article III of this Agreement.

23 **ARTICLE IX - NOTICES**

24 Any notice given pursuant to this Agreement shall be deemed received and effective  
25 when properly addressed, posted and deposited in the United States mail addressed to the  
26 respective parties as follows:

27 **DESIGNATED REPRESENTATIVE**

28 PrimeSource PM, LLC



Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works



1 Attn: Tim Buresh  
2 655 Deep Valley Drive, Suite 355  
3 Rolling Hills Estates, CA 90274  
4 tim.buresh@primesourcepm.com

5 **CLIENT**

6 Magnolia Educational & Research Foundation  
7 Attn: Patrick Ontiveros  
8 250 East 1<sup>st</sup> Street, Suite 1500  
9 Los Angeles, CA 90012  
10 213/628-7419  
11 pontiveros@magnoliapublicschools.org

12 **CONSULTANT**

13 GKK Works  
14 Attn: Javan Nabili  
15 155 South Fair Oaks  
16 Pasadena, CA 91105  
17 626/666-6906  
18 jnabili@gkkworks.com

19 **ARTICLE X – NON-ASSIGNABILITY**

20 Consultant shall not assign any interest in this Agreement and shall not transfer any  
21 interest in the same whether by assignment or novation without prior written approval of  
22 Client.

23 **ARTICLE XI – EQUAL EMPLOYMENT**

24 Consultant agrees that during the performance of this Agreement, they will not  
25 discriminate against any employee or applicant for employment because of race, creed, color,  
26 sex, age or national origin.



**Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works**



1           **ARTICLE XII – CHANGES, AMENDMENTS AND MODIFICATIONS**

2           No change, amendment or modification to this Agreement shall be effective unless in  
3 writing and signed by the Client.

4           **ARTICLE XIII – ENTIRE AGREEMENT**

5           This Agreement and any prior agreement, document or instrument attached hereto or  
6 referred to herein, integrate all the terms and conditions mentioned herein or incidental  
7 hereto, and supersede all oral negotiations and prior writings with respect to the subject matter  
8 hereof. In the event of any conflict between the terms, conditions and provisions of this  
9 Agreement in any such prior agreement, document or instrument, the terms, condition and  
10 provisions of this Agreement shall prevail.

11           **ARTICLE XIV – APPLICABLE LAW**

12           This Agreement shall be governed by, and construed under the laws of the State of California.  
13 This Agreement may be executed in as many counterparts as may be deemed convenient, each  
14 of which, when so executed, shall be deemed an original.

15           **ARTICLE XV – STANDARD OF CARE**

16           Consultant shall perform all services under this Agreement in a skillful, competent, timely  
17 manner consistent with the standards generally recognized as being employed by professionals  
18 performing similar work in the State of California. Consultant shall maintain throughout the  
19 term of the Agreement all professional licenses legally required to perform such services.

20           **ARTICLE XVI – INDEMNIFICATION**

21           Consultant agrees to indemnify and hold harmless Client from any and all losses including  
22 attorney's fees from third party claims that arise from the Consultant's alleged willful or  
23 negligent acts, errors or omissions in the performance of services under this Agreement.

24           **ARTICLE XVII – CHILD SAFETY**

25           Consultant is required to comply with Education Code Section 45125.1 with respect to the  
26 fingerprinting and background checks of employees who may come into contacts with Client's  
27 pupils. Consultant is required to provide evidence of testing and clearance to work with minors  
28 for tuberculosis of employees who may come into contacts with Client's pupils.





Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works



1 EXECUTION

2 IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date  
3 and year first above written.

4

5 Acceptance by Consultant:

6

7 \_\_\_\_\_  
gkk works

8

Javan Nabili, AIA

9

Principal in Charge

10

Date: \_\_\_\_\_

11

12

13 Acceptance by Client:

14

15 \_\_\_\_\_  
Magnolia Educational & Research Foundation

16

Caprice Young, Ed. D.

17

Chief Executive Officer

18

Date \_\_\_\_\_

19

20 Exhibits & Attachments

21 The following documents are attached and included as herein:

22

Exhibit A – Scope of Services

23

Exhibit B – Compensation

24

Exhibit C – Insurance

25

Attachment – Client request for Proposals

26

Attachment – Consultant’s Proposal

27



**Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works**



**Exhibit A – Scope of Services**

1           **Exhibit A – Scope of Services**  
2    Consultant shall provide master planning consulting services as requested in Client’s Request  
3    for Proposals dated January 3, 2018 (attached and included herein by reference) and  
4    Consultant’s proposal dated January 12, 2018 (attached and include herein by reference). A  
5    detailed work plan shall be prepared by Consultant and approved by Client reflecting scope of  
6    work discussions held on Thursday January 25, 2018. The scope of work includes two major  
7    activities: (1) the preparation of planning documents to support Client’s efforts to adjust the  
8    zoning of the MSA-1 campus zoning; and (2) the preparation of planning documents to support  
9    Client’s efforts to create joint use opportunities between the MSA\_1 Reseda campus and the  
10   adjacent planned City Parks and Recreation Ice Rink facility.

11  
12   The contract duration will be one year from the date of this Agreement unless extended by  
13   approved change order. Services will begin immediately upon approval of contract by the  
14   Client’s Board of Education. The initial work phase shall be completed within three months. It  
15   shall include: (1) near term phased site master plan without joint use facilities between the  
16   campus and the adjacent City of Los Angeles Parks and Recreation facility; (2) long term phased  
17   site master plan without joint use facilities between the campus and the adjacent City of Los  
18   Angeles Parks and Recreation facility; (3) long term phased site master plan with joint use  
19   facilities between the campus and the adjacent City of Los Angeles Parks and Recreation facility;  
20   (4) conceptual floor plan for the adjacent City of Los Angeles Parks and Recreation facility. The  
21   master plan shall include site plans and renderings sufficient to explain the project to City  
22   officials and the lay community. Follow-on phases of work including public presentations and  
23   meetings with City departments will extend for one year. Time is of the essence in the  
24   performance of this Agreement.

25  
26   All written products will be supplied in appropriate electronic format on flash drive.



Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works



1           **Exhibit B – Compensation**

2   This shall be a time and materials based contract with Consultant reimbursed for actual hours  
3   of service and reimbursable expenses directly related to this Agreement. Total compensation  
4   under this agreement will not exceed \$47,500 in total compensation unless modified by  
5   approved change order.

6

7   Hourly services will be reimbursed at the following rates:

8           Principal - \$250

9           Senior Project Manager - \$185

10          Senior Designer/Planner - \$170

11          Senior Project Architect - \$170

12          Technical Staff - \$135

13   Rates are established as of the date of this agreement and shall be fixed for a period of one  
14   year from the date of the Agreement, and may be subject to adjustment on an annual basis  
15   thereafter.

16

17   Reimbursable expenses will not include those expenses normally included in a home office  
18   overhead account. Anticipated reimbursable expenses for this contract include: project related  
19   travel, presentation material production and copying, and City permit fees. Reimbursable  
20   expenses shall only be incurred with Client approval. Reimbursable expenses will be billed  
21   based on a multiple of 1.10 times the expense incurred by consultant.

22

23   Payment will be made based on monthly approved invoices. Invoices will be submitted to  
24   Client's designated representative for approval. Payment will be via wire transfer to the  
25   Consultant's account. Consultant shall provide wire transfer information prior to submission of  
26   its first invoice. Consultant wire transfer information may be changed by the Consultant at any  
27   time by written notice to Client.



**Magnolia Science Academy-1  
New High School Project  
Master Planning Services Agreement – GKK Works**



**1 Exhibit C – Insurance**

**2 Consultant shall maintain the following levels of single occurrence and aggregate insurance  
3 coverage for the duration of this Agreement and any change orders:**

**4 Commercial general liability – \$1,000,000/\$2,000,000**

**5 Automobile liability - \$1,000,000/\$1,000,000**

**6 Workers compensation and employer liability – statutory**

**7 Professional liability - \$1,000,000/\$1,000,000**

**8 Insurance coverage shall list Magnolia Educational Research & Foundation as additional insured  
9 and shall require a 30-day written termination notice provision. Proof of insurance shall be  
10 provided prior to the start of work under this Agreement.**



