



Agenda Item #: II B: Recommended Action Item
Date: September 8, 2021
To: Magnolia Educational & Research Foundation dba Magnolia Public Schools ("MPS")
Facilities Committee (the "Committee")
From: Alfredo Rubalcava, CEO & Superintendent
Staff Lead: Patrick Ontiveros, General Counsel & Director of Facilities
Mustafa Sahin, Project Manager
RE: Approval of MSA-1 Proto II Type Wall Proposal

I. Proposed Motion/Recommendation(s)

Staff recommends and moves that the Committee approves (1) the selection of ISAAC-BODNER CONSTRUCTION for the proto type II wall construction that is a part of the Magnolia Science Academy—1 ("MSA-1") middle school parking lot site improvement project (the "Project") and to spend up to \$76,900 on said project and (2) the execution of a contract that Staff may negotiate with such vendor and that the Committee further recommend and move that the Board of Directors of MPS approve the same.

II. Background

When staff was working on the high school construction project, staff also included this proto II type wall to be built between the south side of both High school and Middle school parking lots and neighbors. The wall was not completed and, ultimately, removed from the general contractor's scope of work. Oltmans Construction said they could not work on residential areas. After the high school project was completed, MSA-1 filed for and received a zone change for its parking lot parcels from the City of Los Angeles. As a condition to the zone change, MSA-1 agreed to make certain improvements to the parking lot parcel that serves the MSA-1 middle school building. See Exhibit A. They include the following: (1) the fixing of drainage on the middle school parking lot; (2) the creation of an open green space and a concrete pad with a solar shade; (3) fencing surrounding the entire MSA-1 parking lot parcels; (4) the creation of a track; and (5) the installation of modular outdoor restrooms. Looking to the future, having a good recreation and outdoor space will benefit the students and may in fact attract more students to the campus.

We also have a settlement agreement with The Ngyen family after they proved that the water was damaging their home and their wall, we promised them to replace the wall.

III. Procurement

Franco Architects worked with Staff to solicit bids for the proto II type wall. Staff prepared a Request for Proposals and published it on the MPS website. See Exhibit B. Franco Architects targeted specific vendors to solicit proposals—including, Blackwell Construction, Isaac Bodner Construction, Zingo



Construction and E.H Butland Construction. After several rounds of discussions with Franco Architect, staff is recommending giving the job to Isaac Bodner Construction based on their expertise in building these type of walls. (See Exhibit C proposals).

IV. Conclusion & Budget Impact

Staff recommends that MPS sign a contract for \$64,082 with Isaac Bodner Construction for the proto II type wall that is part of the Project. Staff further recommends a contingency of \$12,816 (that is, approximately 20% of the contract fee) be approved, for a total of \$76,900.

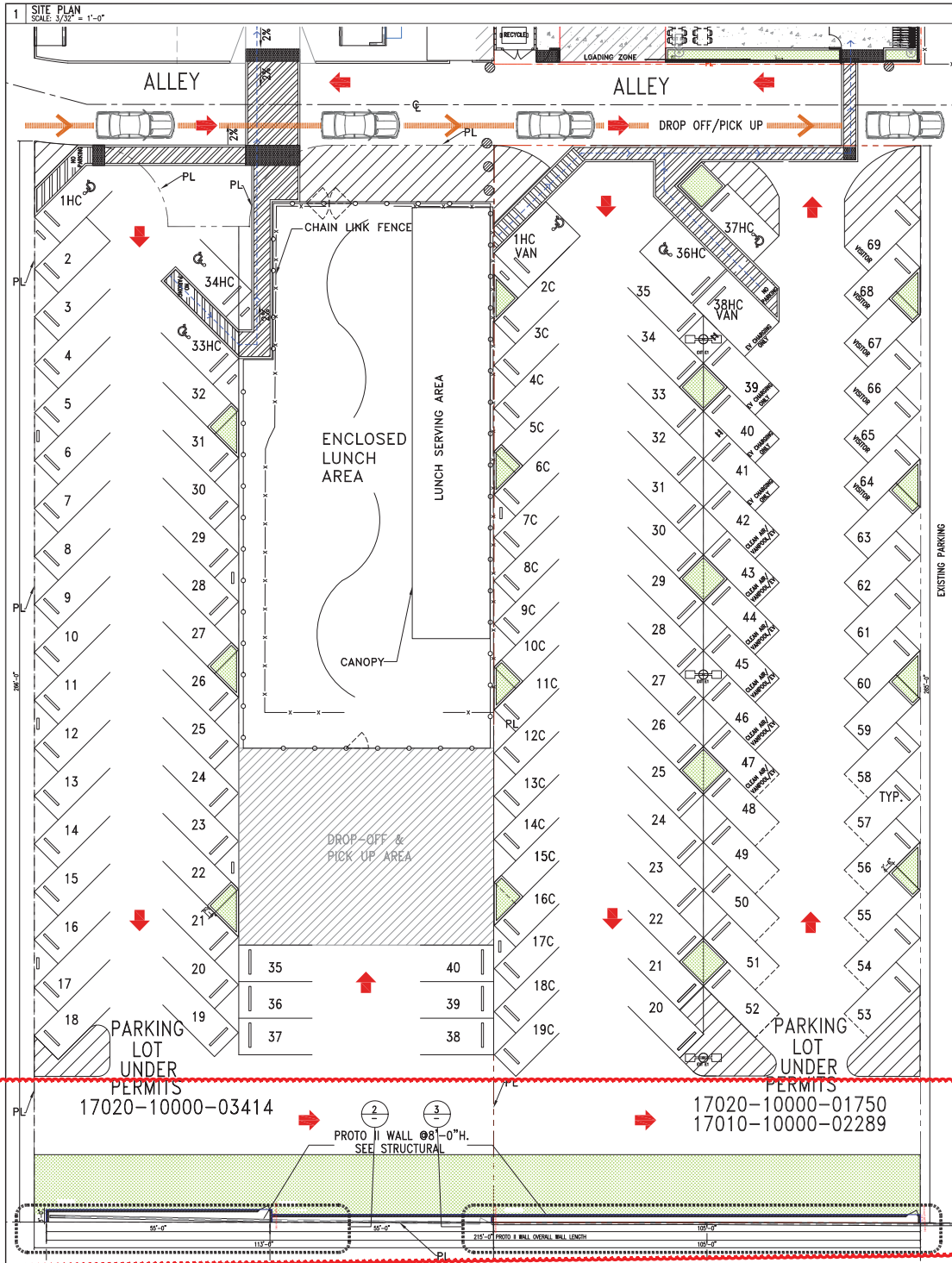
The costs for this wall project will be paid from MSA-1's reserves. The cost will not have a materially negative impact on MSA-1's reserves. Staff is seeking financing for the entire Project. Once such financing is secured, MSA-1 will be repaid any amounts paid from its reserves.

- Exhibit A _____ Site Improvement Site Plans for Project
- Exhibit B _____ RFP
- Exhibit C _____ Proposals



Exhibit A

Site Improvement Plans



PROJECT INFORMATION

PROJECT: MAGNOLIA SCIENCE ACADEMY (PARKING)
 LOCATION: 18220 & 18230 SHERMAN WAY, RESEDA, CA 91335
 BUILDING USE: EDUCATION - 6 THRU 12TH GRADE
 APPLICABLE CODES: 2016 CA BUILDING CODE (2016 CBC)
 OCCUPANCY: E OCCUPANCY AND B OCCUPANCY
 SITE AREA: 29,178.3 SF
 ASSESSOR PARCEL NO: 2125036100, 2125036105, 2125036106

PROJECT DIRECTORY

OWNER: MAGNOLIA SCIENCE ACADEMY 1
 18228 SHERMAN WAY,
 RESEDA, CA 91335
 TEL: (818)609-0207

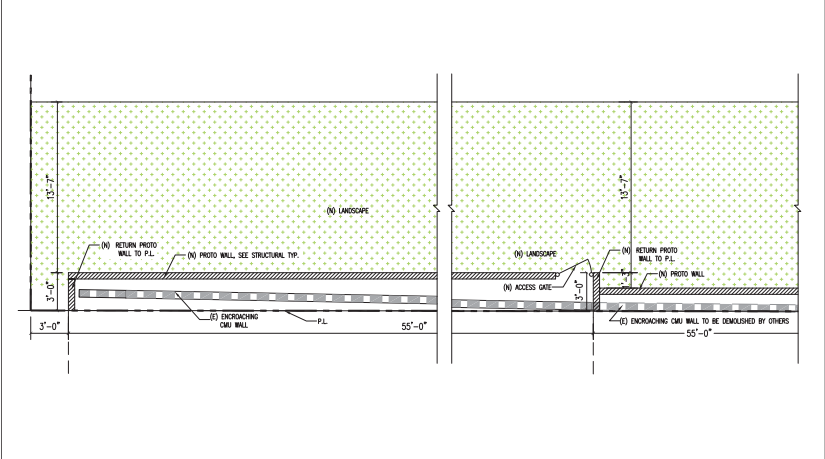
SCOPE OF WORK

NEW 8'-0" H. PROTO II WALL AT SOUTH END PROPERTY LINE- OVERALL LENGTH 215'-0"

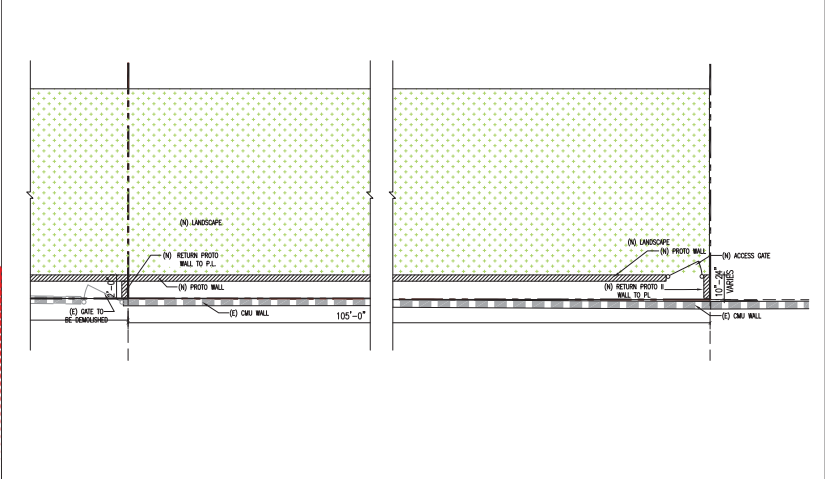
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 LOT 10 OF TRACT NO. 21799 AND LOT 5 OF TRACT NO. 17598, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 617 PAGES 42-44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

2 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



3 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



MAGNOLIA SCIENCE ACADEMY (PARKING)
18220 & 18238 SHERMAN WAY, RESEDA, CA 91335

REV	DESCRIPTION	DATE
1	PLAN CHECK	05/21/2019
2	PLANNING PC	04/29/2019

MAGNOLIA SCIENCE ACADEMY
18220 & 18238 SHERMAN WAY
RESEDA, CA 91335

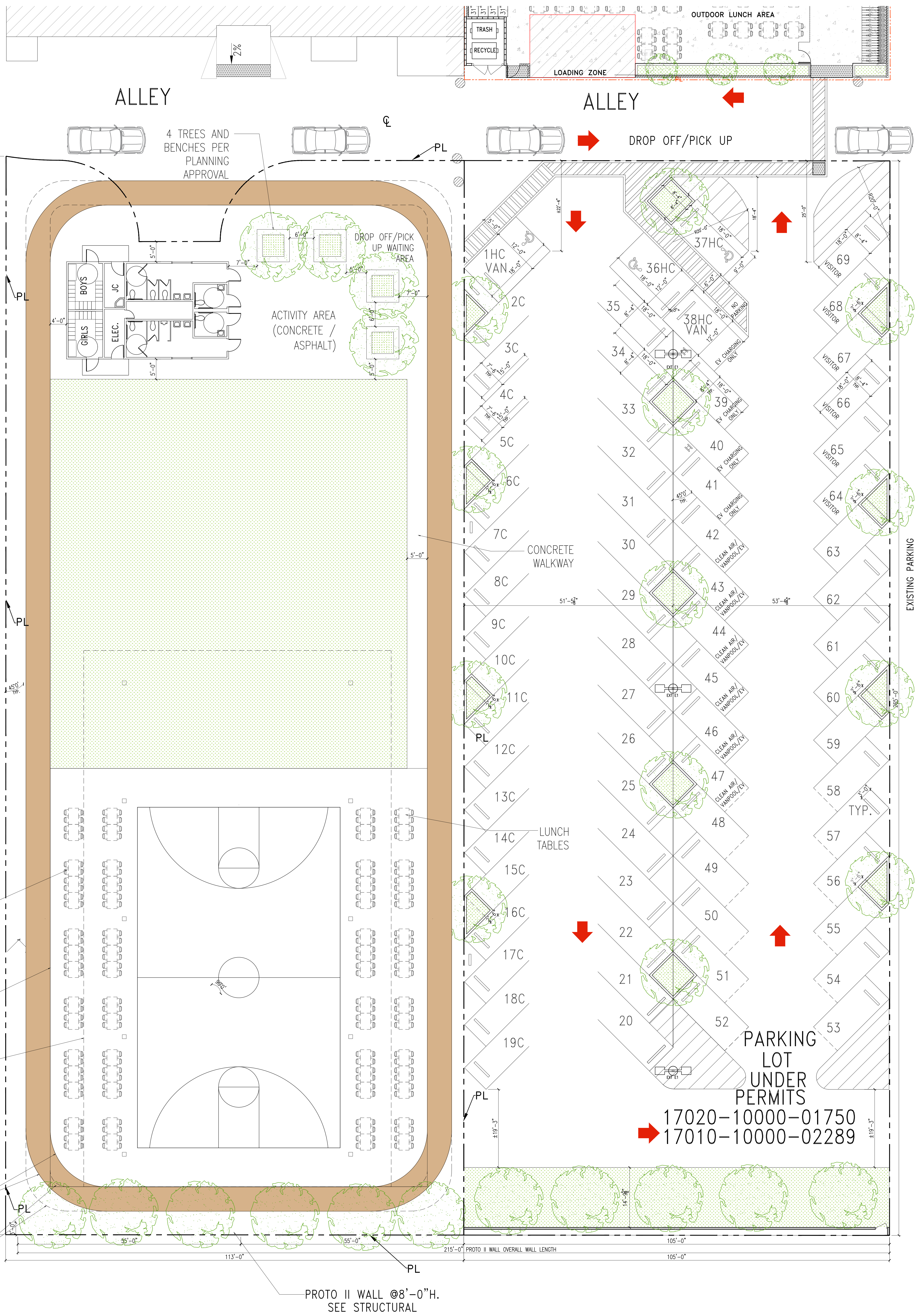
DRAWING INDEX, SITE PLAN & LOCATION PLAN

DATE: 5/2/2019
 AS NOTED

AS NOTED

A0.1

SCOPE OF WORK



- OPTIONAL BLEACHERS / SPECTATOR CHAIRS LOCATION
- PROPOSED SHADE STRUCTURE
- SHADE STRUCTURE PER PLANNING APPROVAL
- PROPOSED TRACK RADIUS
- TRACK RADIUS PER PLANNING APPROVAL

PARKING LOT UNDER PERMITS
17020-10000-01750
17010-10000-02289

PROTO II WALL @8'-0"H.
SEE STRUCTURAL



Exhibit B

RFP



MAGNOLIA PUBLIC SCHOOLS

Request for Qualifications/Proposals
to Build a Proto II Wall
for Magnolia Science Academy 1 | Reseda

Due Date:

August 18, 2021

1.0 INTRODUCTION

Magnolia Education & Research Foundation doing-business as Magnolia Public Schools ("**MPS**"), a charter school management organization, operates Magnolia Science Academy 1 ("**MSA-1**") located at 18220 Sherman Way and 18238 Sherman Way in the Reseda neighborhood of Los Angeles. The former houses MSA-1's high school and the latter houses MSA-1's middle school. The purpose of this RFP is to solicit bids to build a Proto II Wall (the "**Project**") in the back of existing Middle and High school parking lot, between our property and the neighbor homes. The Project is part of a larger site improvement plan for the middle school parking lot wherein recreation and open space will be developed (the "**Site Improvement Plan**"). The location of the Project Site is shown on Exhibit A. The overall Site Improvement Plan is shown on Exhibit B.

Site Tour

A site tour will be facilitated if requested.

Proposals Due

Responses to the RFP are due no later than **5:00 PM (PST), Wednesday, August 18, 2021**, to the following individual:

Mustafa Sahin
Project Manager
Magnolia Public Schools
250 East 1st Street
Suite 1500
Los Angeles, CA 90012
msahin@magnoliapublicschools.org

Questions regarding this RFP may be directed to the individual identified above via email.

Proposal Format:

One (1) electronic PDF copy (by email) of your proposal must be delivered to the person indicated by the deadline stated above. Please endeavor to keep any emailed material to a single manageable file size (at or about 10 MBs) so that it may be easily distributed to the Selection Committee.

Respondents are encouraged to only include information pertinent to the Project and the Selection Committee's ability to select the vendor best suited to successfully complete this job.

Interviews:

Interviews will be held at the discretion of MPS and MSA-1. Interviews, if any, are expected to be held on Thursday- August 19th. Location and time are to be determined.

If interviews are held, respondents will meet with the Selection Committee for approximately ½ hour to 1 hour. The interview will be an open, unscripted format. Respondents will have 20 minutes to present any information they feel is pertinent followed by questions and answers and general discussion.

Selection Committee:

The Selection Committee will be composed of representatives from MPS and MSA-1.

1.1 Timeline

RFP Distributed:	August 11, 2021
Proposals Due:	August 18, 2021
Interviews, if any (exact time TBD):	August 19, 2021
Selection Announced:	August 20, 2021
Contract Execution:	ASAP following Selection

2.0 PROJECT DESCRIPTION

The Project is to construct an 8' tall, 218' long Proto II Wall at the back of the Middle and High School parking lot along the property line with the adjacent residential homes.

3.0 PROPOSAL FORMAT

Respondent shall format its response as set forth below to facilitate timely review and selection. Please be specific to the RFP, and do not include materials not explicitly requested, such as generic marketing materials.

Your response should include the following:

- Letter of interest
- Name of your company and the individual responsible for the account
- Restate all the requirements of Section 4.0 and provide responses to each

See Section 1.0 for additional proposal format clarifications.

4.0 PROPOSAL REQUIREMENTS

4.1 Vendor Qualifications and Experience

4.1.1 Vendor Description.

Provide a description of your company and why it is qualified to undertake the Project.

Provide the following:

A minimum of three (3) references, including

- (a) name and scope of the project
- (b) client name and contact information
- (c) contract amount

4.1.2 Qualifications and Experience of Key Personnel.

Identify the person(s) that will be principally responsible for working with the MPS and leading this engagement and their qualifications and experience

4.1.3 Insurance.

Provide a description of vendor's insurance coverage.

4.2 Cost

Respondent's proposal should include an overall not to exceed cost and should be broken down in detail. The proposal should also provide a break-down of any and all other costs and fees including, but not limited to, labor, delivery fees, installation fees, applicable taxes, etc.

4.3 Product Information

Respondent will confirm its ability to provide the Project as described above in Section 2.2. Where a respondent believes there are multiple options for the Project, the respondent may provide such alternatives explaining the difference in each alternative and describing the cost differences.

4.4 Warranty Information

Provide a description of the warranty provided for the Project.

4.5 Schedule

Please provide a timeline to complete the project

4.6 Contract

The successful respondent will be required to sign an agreement with Owner in the form of Exhibit C (AIA Document A105-2017). Please provide an affirmative statement of respondent's concurrence or else any changes that respondent desires to make to the form agreement attached as Exhibit C.

5.0 CONTACT

Questions to Owner will be accepted via email by the Facilities Project Manager identified above. Answers to questions will be provided to all participants as available.

6.0 RFP/Q EXHIBITS

Exhibit A: Project Site Location

Exhibit B: Site Improvement Plan

Exhibit C: AIA Document A105™-2017

7.0 BID ACCEPTANCE/REJECTION

The Owner reserves the right to reject any or all proposals, or cancel the solicitation process at its sole discretion.

8.0 PROPOSAL VALIDITY

RFP responses shall be valid until execution of a contract, which is expected to occur on or about August 2021. No changes to information received within the Respondent's proposal shall be changed or altered without approval by the Owner.

Exhibit A

Project Site

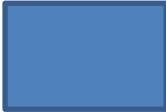
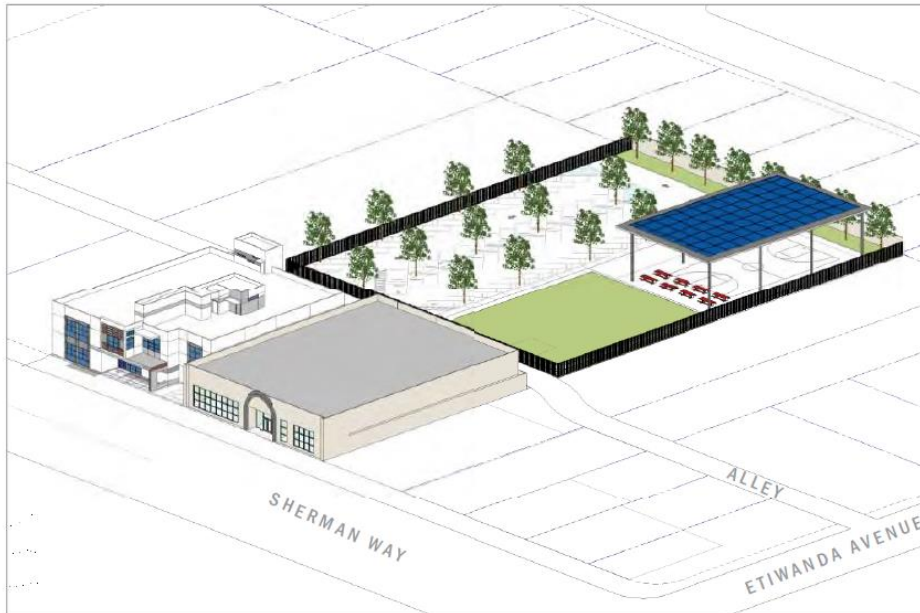
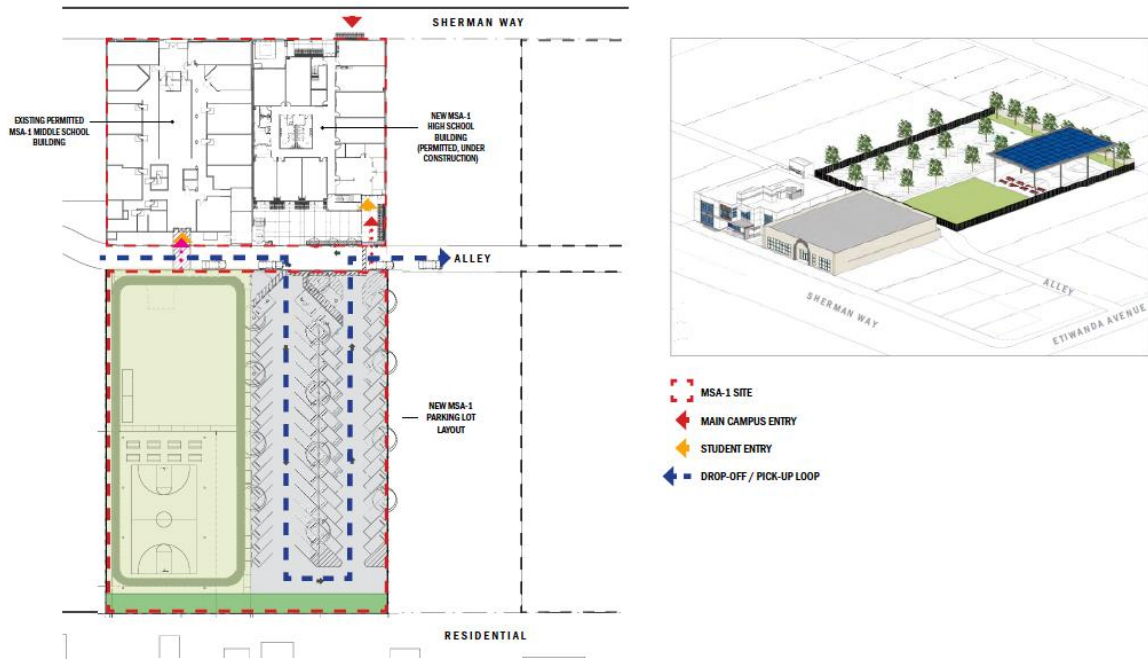
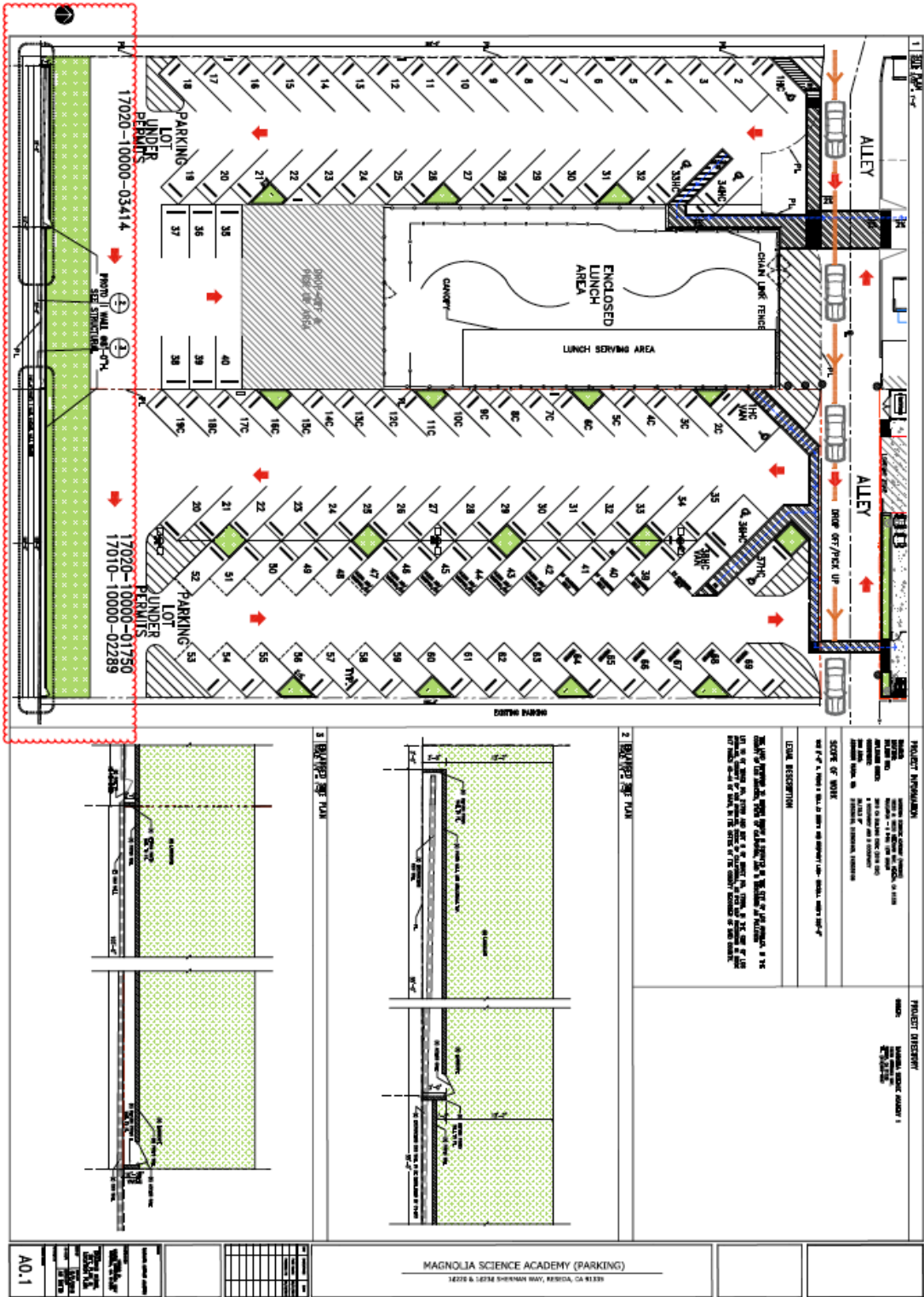


Exhibit B

Site Improvement Plan





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Exhibit C

Form of Contract

(AIA Document A105™-2017)



Exhibit C

Proposals

ESTIMATE



Magnolia Public schools
250 E. 1st Street Suite 1500
Los Angeles, California 90012
(760) 587-6031

Zingo Construction Inc.

6009 Lindenhurst Ave
Los Angeles, CA 90036

Phone: (310) 397-8297

Email: info@zingocontractors.com

Estimate # 000002
Date 08/27/2021

Description

Total

8 Feethigh privacy wall (Block and Artifical grass)	\$50,500.00
-----------------------------------------------------	-------------

6 Feet high Masonary Block wall
8inches thikness
2 feet artifical grass fence on top of wall
Include permits

Subtotal	\$50,500.00
Sales Tax	\$4,545.00
Total	\$55,045.00

Notes:

Because of pandemic city permits taking longer than normal.
For each project try to set an exact completion date from your contractor.

For the walls higher than 6feet city asking and architectural design also engineering detail plans.
And permit and inspection taking longer (months in some cities)

To prevent this we suggest to make the wall 6 feet high and 2 feet artificial grass fence on top of that.

Walls up to 6 feet you can use a ready detail plan from city and finish permit process faster.

Estimate include removing existing block wall and make the new wall as per city requirements but in case of neighbours do not let us get in their gardens we will make the wall 2 feet away from existing wall.

By signing this document, the customer agrees to the services and conditions outlined in this document.

Magnolia Public schools

ISAAC-BODNER CONSTRUCTION Co.

August 17, 2021
Estimate 040821

Patrick Anton / Etmny Cornejo
Magnolia Public Schools
250 E. 1st Street, Suite 1500
Los Angeles, CA 90012

Re: Magnolia Science Academy (Parking)
18220 / 18238 Sherman Way
Reseda CA, 91335

Subj.: CMU
Site PROTO wall (split one side, gray)

Dear Mr. Anton

We are pleased to submit the following Proposal to furnish and install material and equipment as required to complete the work as described below.

1. **Price:**

Proposal for work as noted above and detailed below per plans by Franco Architects Inc, Sheet A0.1 dated 05-02-19. Scope includes; excavate as needed (removal of spoils included), form as needed, reinforce per PROTO II standard plan, install CMU (natural gray split one side precision CMU) per PROTO II standard plan. Pricing is based on 6" CMU with cap. All concrete is based on normal weight (#150). Any delay causing additional work hours or move on's will be charged separately in addition to contract at \$228 / hr. (\$1,350 per move on). Pricing does not include survey, saw cutting, demolition, backfilling or compaction, of any kind. Note; Pricing is based on proper access to project, for material and equipment needed for scope, including work trucks, pumps, concrete and delivery truck (at no additional costs). All work to be performed during daylight hours (no premium time) **Pricing does not include any other concrete work or masonry work. All sub-grade is calculated as competent and of proper density. All inspections are the responsibility of others (permits).**

Total as noted above

\$ 64,082.00

2. **Exclusions:**

- a. Bonds, permits and fees of any kind
- b. Water and power, dewatering
- c. Stucco, plaster or painting
- d. Brick, stone, precast, or any specialty of special items, supply or install
- e. Rock clause, transporting or disposal of spoils
- f. Mock ups, preconstruction testing, or shop drawings, of any kind
- g. Special surface preparation or textures for concrete or CMU (except as note)
- h. Backfilling, compaction, demolition, of any kind
- i. **Transporting of removal of any spoils (except as noted)**
- j. Contamination of any kind
- k. Moisture barriers of any kind, pressure washing and sandblasting
- l. Moisture retardants, or integral moisture retardants, of any kind
- m. **Embedded items and their location**
- n. Traffic control or delineation of any kind, protection of adjacent areas

CORP. LIC. #643474

12345 Ventura Blvd., Suite H, Studio City, 91604 Phone (818) 762-5172 FAX (818) 761-9122

- o. Shoring and bracing of walls, floors, lentils or work areas
- p. Caulking, fire safing, or any expansion joint material
- q. **Drypacking, non-shrink grout, or filling of voids (of any kind)**
- r. **Any specification for MOE (to be priced separately)**
- s. Any "allowances", Architectural or Structural (or others)
- t. Dewatering
- u. Concrete work of any kind (except as noted above)
- v. Inspection, engineering and testing
- w. Repair or liability of unmarked / unseen obstacles (incl cost of down time)
- x. Any surface preparation required
- y. Soils report, specification book
- z. Any additives for Concrete or CMU (i.e. water retardants, etc.)
- aa. Any additives, colors, hardeners, sealers for concrete and CMU or coatings for reinforcing
- bb. OSHPD or DSA requirements
- cc. **Any work not noted above**

3. On Site Requirements:

- a. Access to area to be worked on by equipment required by job.
- b. Water and power within 100 feet
- c. Pricing is based on daylight hours, Monday thru Friday, 8 hrs. ea. (all others at overtime)
- d. Permits on site prior to commencement of work.
- e. Secure storage area.
- f. Trash container suitable for all job generated debris (on site)
- g. Grade to be plus or minus 1/10 one inch
- h. All penetrations and installation of hardware to be supplied and located by others before AND during construction.
- i. **All embedded items to be provided ASSEMBLED**
- j. Flat, level work area

4. Other Requirement:

- a. Changes must be accompanied by a change / purchase order signed and approved by all parties.
- b. This proposal will become part of any contract regarding the proposed work.

5. Payment Schedule:

- a. Progressive upon completion.

6. Qualification:

Prices quoted herein are valid for 30 days. If a contract is signed but work not started within 30 days, we reserve the right to re-bid. This bid is based on **Non-Union, Non-prevailing wages**. Liability insurance based on \$ 1,000,000 - \$ 2,000,000 aggregate, additionally insured form AP2000US-0405. (excludes condominiums or construction governed by any type of associations). If a "WRAP policy is to be provided by others it is at no additional costs. Isaac-Bodner's responsibility under the Contractor's indemnification/hold harmless provisions is expressly limited to that of this seller's performance.

Submitted by:

Fred A. Bodner
Isaac-Bodner Construction



BLACKWELL CONSTRUCTION, INC.
Tel: 818 755-6611 Fax: 818 761-9122

August 17, 2021

Etmny Cornejo
Franco Architects Inc.

Re: Magnolia Science Academy (Parking)
18220 / 18238 Sherman Way
Reseda CA, 91335

Subj.: Proto wall
Natural gray split one side (NTE 8')
Proto wall footing (per proto specification)

Dear Ms. Cornejo

We are pleased to submit the following Proposal to furnish and install material and equipment as required to complete the work as described below.

Construct proto wall per plans (attached) per Proto specification using stock materials.

Total \$ 67,234.00

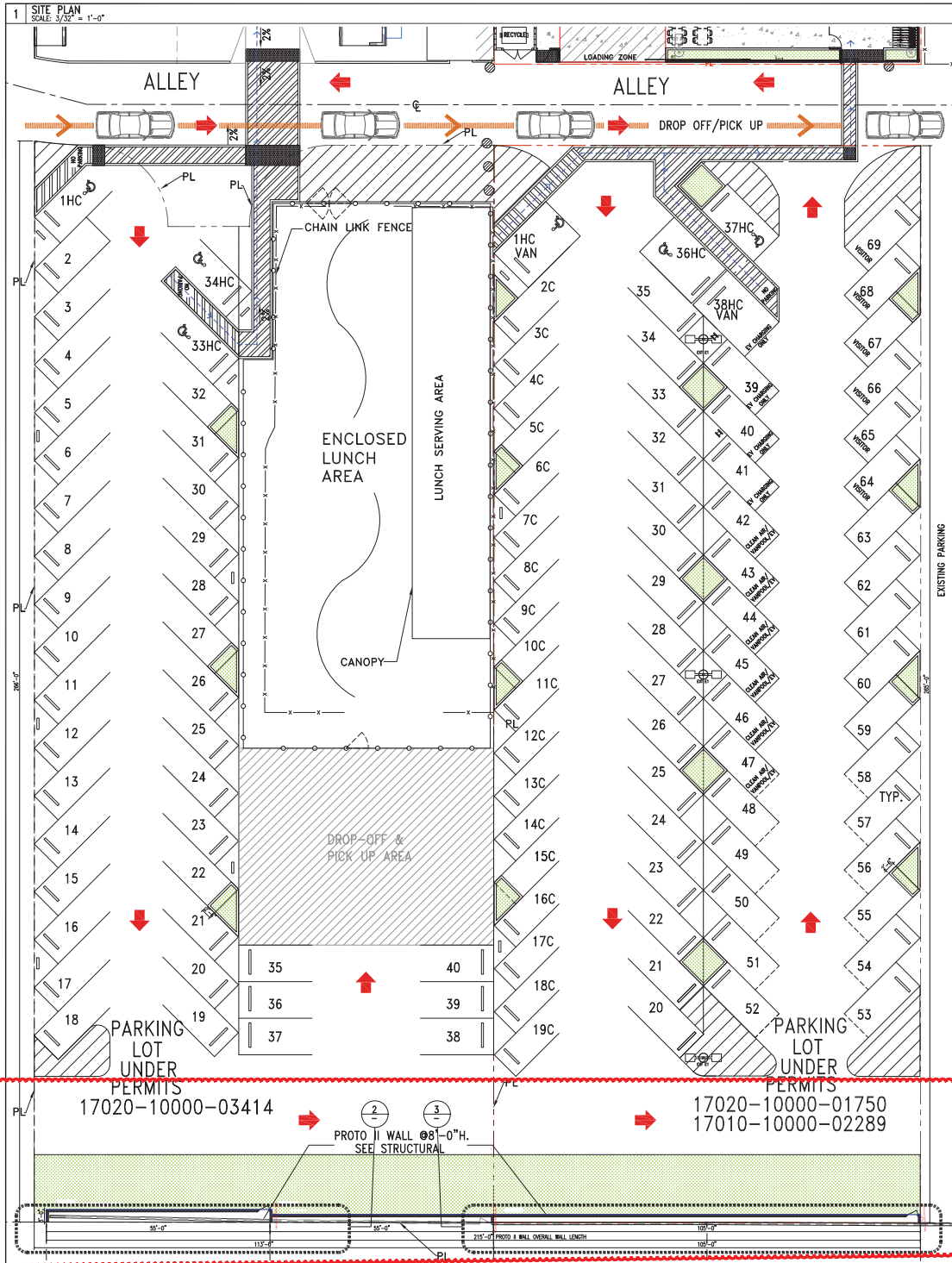
Exclusions:

- Water and power
- Inspections, bonds, permits and fees
- Cap (none noted)
- Water and power, dewatering
- Rock clause
- Concrete other than footing

Payments to be invoiced and paid 30 days, no retention
Insurance liability; \$ 1,000,000.00

Submitted by:

Dolores Vargas
Blackwell Construction Inc.



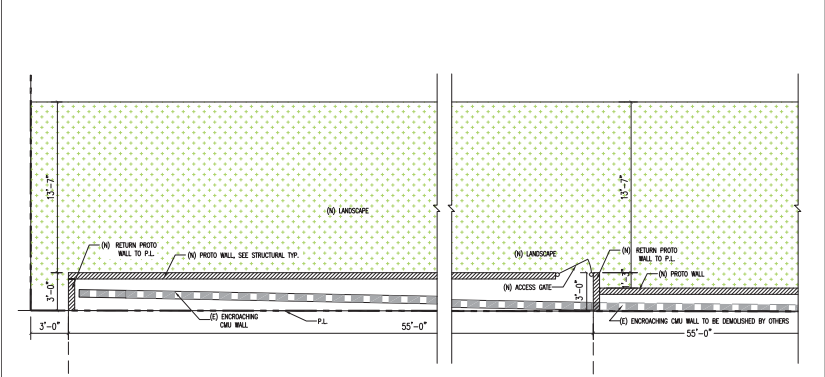
PROJECT INFORMATION	
PROJECT:	MAGNOLIA SCIENCE ACADEMY (PARKING)
LOCATION:	18220 & 18238 SHERMAN WAY, RESEDA, CA 91335
BUILDING USE:	EDUCATION - 6 THRU 12TH GRADE
APPLICABLE CODES:	2016 CA BUILDING CODE (2016 CBC)
OCCUPANCY:	E OCCUPANCY AND B OCCUPANCY
SITE AREA:	29,178.3 SF
ASSESSOR PARCEL NO.:	2125036100, 2125036105, 2125036106

PROJECT DIRECTORY	
OWNER:	MAGNOLIA SCIENCE ACADEMY 1
	18220 SHERMAN WAY, RESEDA, CA 91335 TEL: (818)609-0207

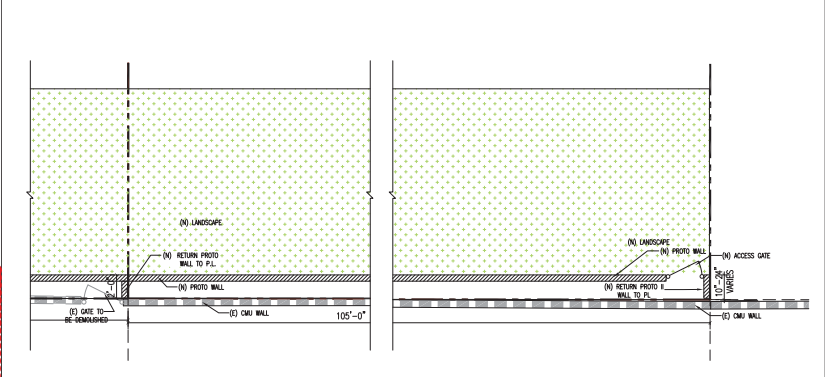
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2 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



3 ENLARGED SITE PLAN
SCALE: 1/4" = 1'-0"



MAGNOLIA SCIENCE ACADEMY (PARKING)
18220 & 18238 SHERMAN WAY, RESEDA, CA 91335

REV	DESCRIPTION	DATE
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MAGNOLIA SCIENCE ACADEMY
18220 & 18238 SHERMAN WAY
RESEDA, CA 91335

DRAWING INDEX, SITE PLAN & LOCATION PLAN
DATE: 5/2/2019
AS NOTED

A0.1

August 16, 2021

Etmny Cornejo
Magnolia Science Academy
18220 Sherman way
Reseda, CA, 91335

Re: Magnolia Science Academy
18220 Sherman way
Reseda, CA, 91335

Subj.: Proposal
Proto Wall; gray split one side
Plans; Drawing Index, Site Plan and Location Plan (dated 05-02-2019)

Dear Ms. Cornejo,

The following PROPOSAL is submitted for the above noted job to install 6" gray split one side PROTO II wall.

Total Proposal

\$ 69,163.00

The following exclusions are included for the above noted work; Water, power, permits, concrete work (except footing for proto wall, inspections, any items not directly involved with the masonry trade.

Items to be furnished on site; Water, power, trash container, access to work area.

Invoicing to be on the 25th of the month paid by the 10th of the following month.

This proposal is based on use of Non-Union labor.

Upon successful bid, a formal "Scope of Work" will be included in contract form.

Respectfully Submitted

E.H. BUTLAND CORP.



Kalevi Kekkonen, Vice President