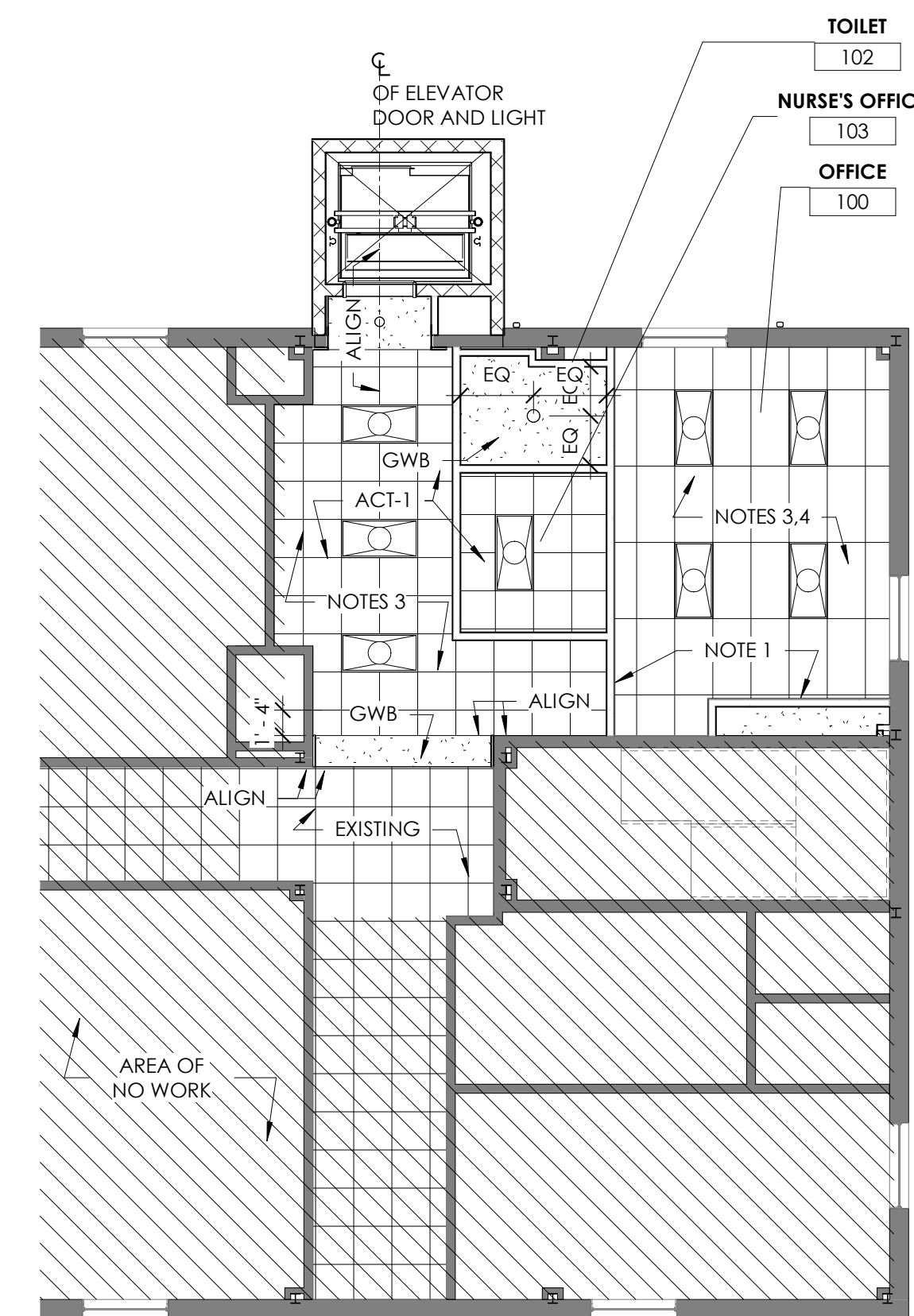


PARTITION SCHEDULE

TYPE MARK	WIDTH	GRAPHIC	RATING	UL#	DESCRIPTION	COMMENTS
F1	1 1/2"				Interior: 7/8" 20 gauge metal hat channel @ 16" o.c. w/ 1 layer of 5/8" gypsum board. See Wall Finish Schedule for finish material	
F3	4 1/4"				Interior: 3 5/8" 20 gauge metal stud @ 16" o.c. w/ 1 layer of 5/8" gypsum board on ONE side. See Wall Finish Schedule for finish material	
S3	4 7/8"				Interior: 3 5/8" 20 gauge metal stud @ 16" o.c. w/ 1 layer of 5/8" gypsum board on EACH side. See Wall Finish Schedule for finish material	
S3i	4 7/8"				Interior: 3 5/8" 20 gauge metal stud @ 16" o.c. w/ acoustic insulation, w/ 1 layer of 5/8" gypsum board on EACH side. Wall shall extend up to underside of existing slab above. See Wall Finish Schedule for finish material	



MATERIAL KEYNOTES

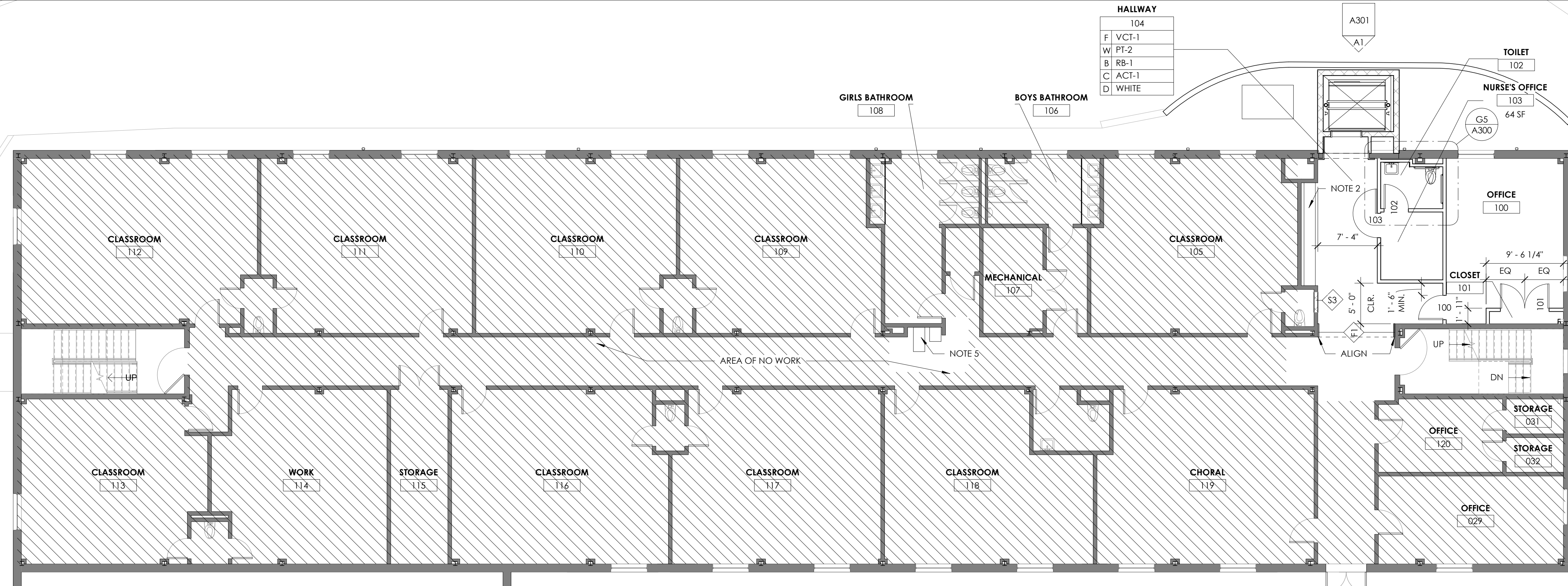
- GENERAL NOTES**
- PARTITIONS ARE S3 UNLESS NOTED OTHERWISE
 - SEE A020 FOR DOOR SCHEDULE
 - UNTAGGED DOORS ARE EXISTING TO REMAIN

SHEET SPECIFIC NOTES

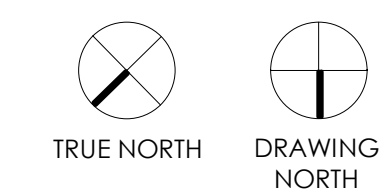
- REWORK EXISTING CEILING WHERE INTERSECTING WITH NEW CONSTRUCTION, TYP.
- BUILT IN BENCH WITH SEAT AND BACK CUSHIONS
- LIGHTS SHOWN ON ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY. SEE ELECTRICAL FOR ACCURATE REPRESENTATION OF LIGHTING.
- CONTRACTOR TO MAINTAIN EXISTING CEILING GRID AND REPLACE ALL ACOUSTICAL TILES WITH NEW.
- DRINKING FOUNTAINS TO BE REPLACED ON ALL THREE FLOORS. THIS HAS NOT BEEN COORDINATED FOR THIS DD SET BUT IT IS THE INTENT TO REPLACE THE THREE LOCATIONS WITH THE PRODUCT SPECIFIED IN THE PLUMBING DOCUMENTS FOR THE BASMENT LEVEL.

5K RCP - MAIN LEVEL - NEW

HALLWAY	
F	VCT-1
W	PT-2
B	RB-1
C	ACT-1
D	WHITE



A1 MAIN LEVEL - NEW



CURRENT REVISION:
REVISION NO. 1

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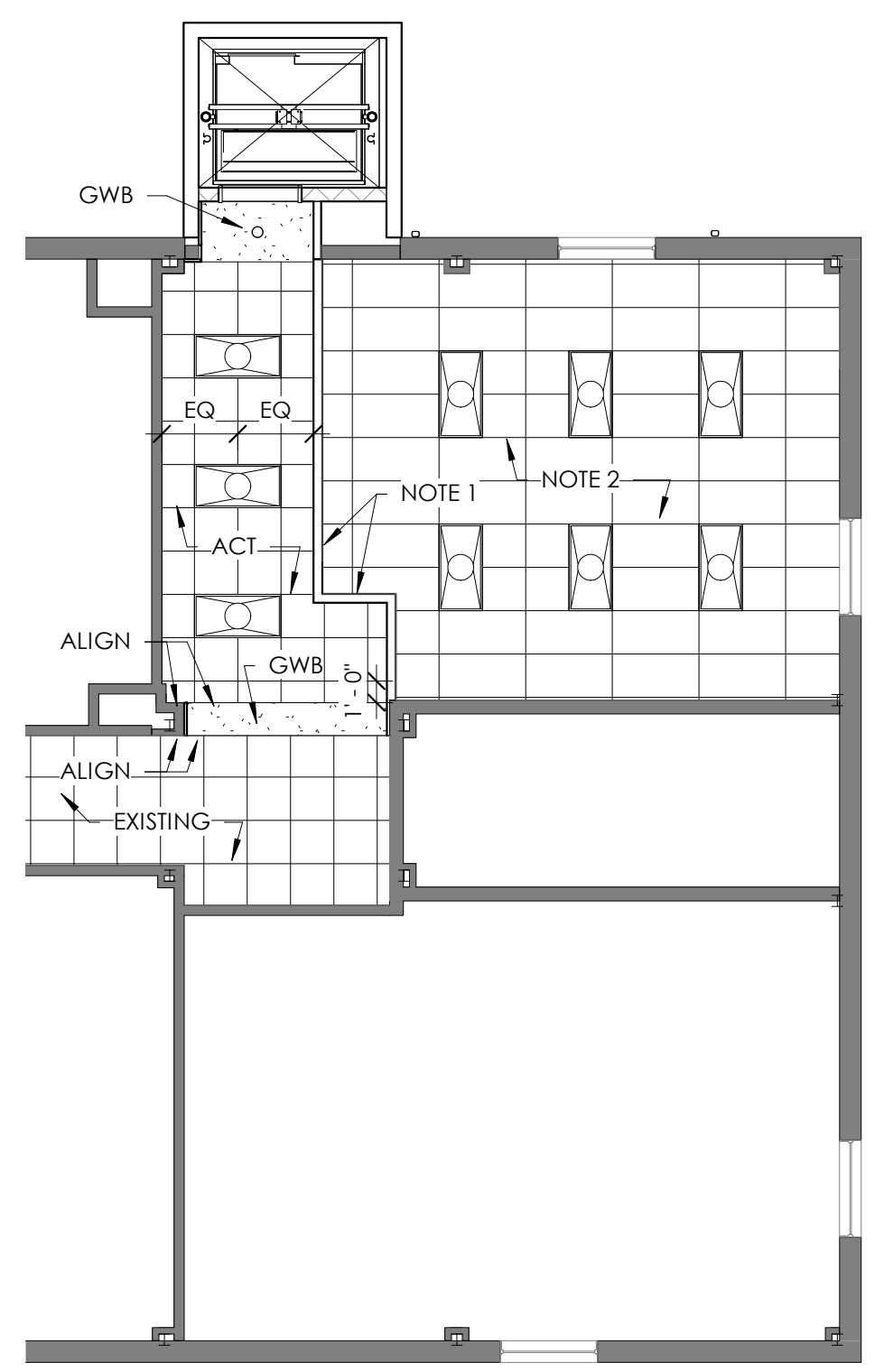
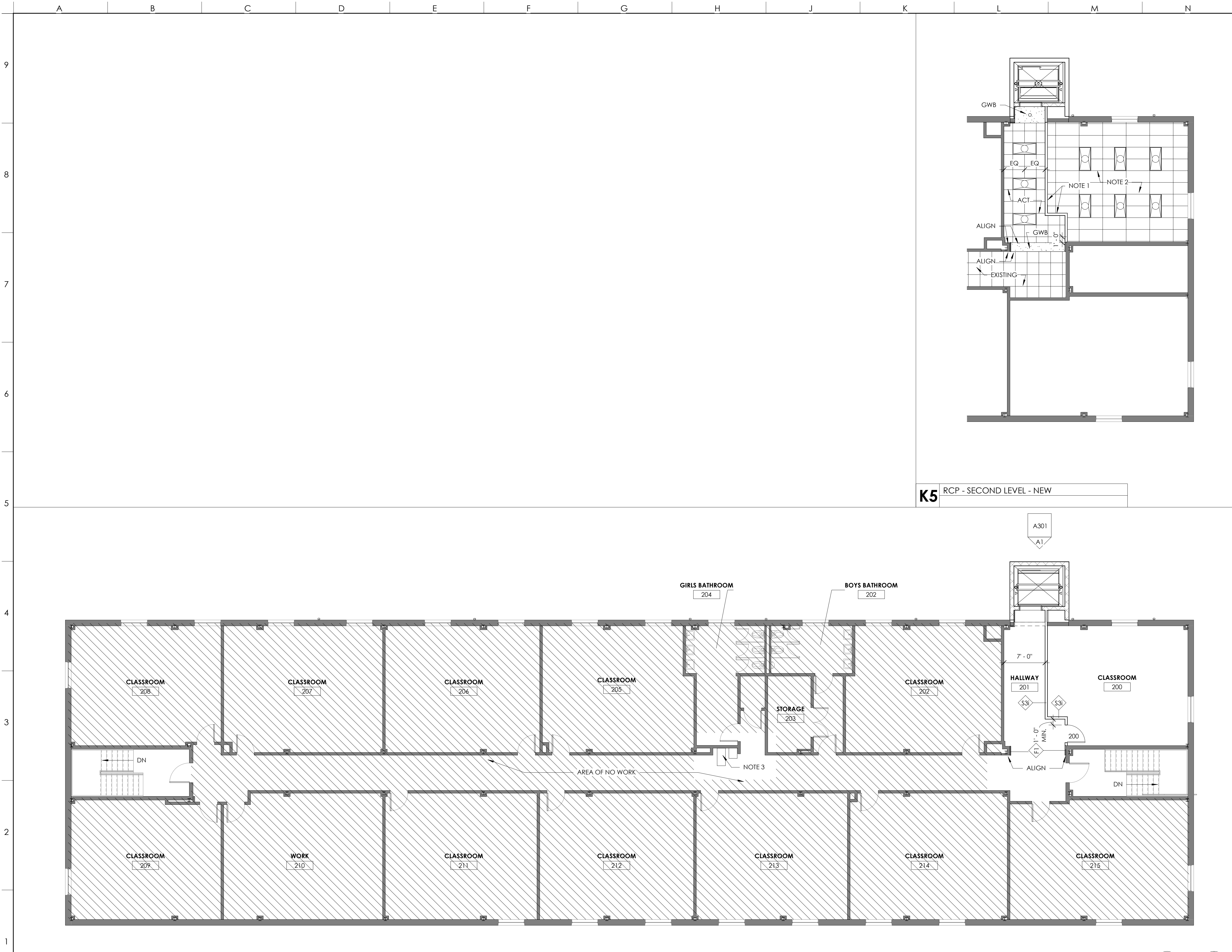
SHEET TITLE: MAIN LEVEL PLAN

PROJECT TITLE: Globe Academy - Elevator Addition
4105 Briarcliff Rd NE, Atlanta, GA 30345

SCALE AS INDICATED: 1/8" = 1'-0"
2 4 8 16

ISSUE: DESIGN DEVELOPMENT
DATE: 02/12/19
PROJECT NO: 1862
SHEET NO: A101

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K5 RCP - SECOND LEVEL - NEW

MATERIAL KEYNOTES

GENERAL NOTES

- A. SEE A101 FOR PARTITION TYPE SCHEDULE
- B. PARTITIONS ARE S3 UNLESS NOTED OTHERWISE

SHEET SPECIFIC NOTES

1. REWORK EXISTING CEILING WHERE INTERSECTING WITH NEW CONSTRUCTION, TYP.
2. CONTRACTOR TO MAINTAIN EXISTING CEILING GRID AND REPLACE ALL ACOUSTICAL TILES WITH NEW.
3. DRINKING FOUNTAINS TO BE REPLACED ON ALL THREE FLOORS. THIS HAS NOT BEEN COORDINATED FOR THIS DD SET BUT IT IS THE INTENT TO REPLACE THE THREE LOCATIONS WITH THE PRODUCT SPECIFIED IN THE PLUMBING DOCUMENTS FOR THE BASMENT LEVEL.

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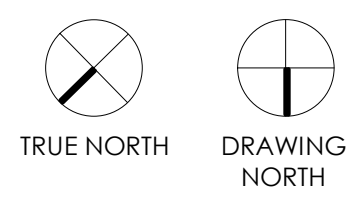
SHEET TITLE: **SECOND LEVEL**
 SCALE: AS INDICATED
 DRAWN BY: OT
 1/8" = 1'-0" (when printed full-size on 22" x 34" sheet)

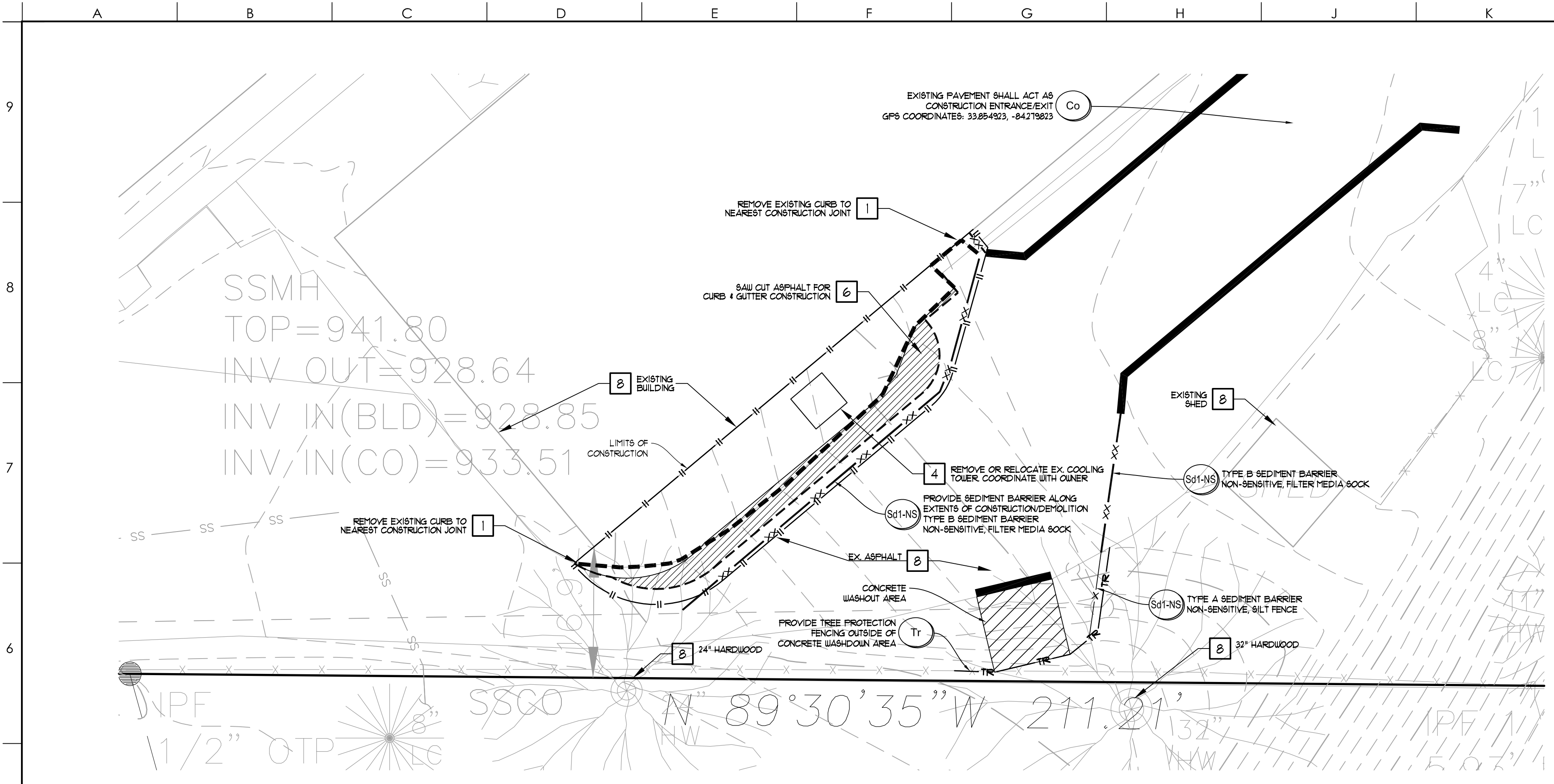
PROJECT TITLE: **Globe Academy - Elevator Addition**
 4105 Briarcliff Rd NE, Atlanta, GA 30345
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ISSUE: **DESIGN DEVELOPMENT**
 DATE: **02/12/19**
 PROJECT NO: **1862**
 SHEET NO:

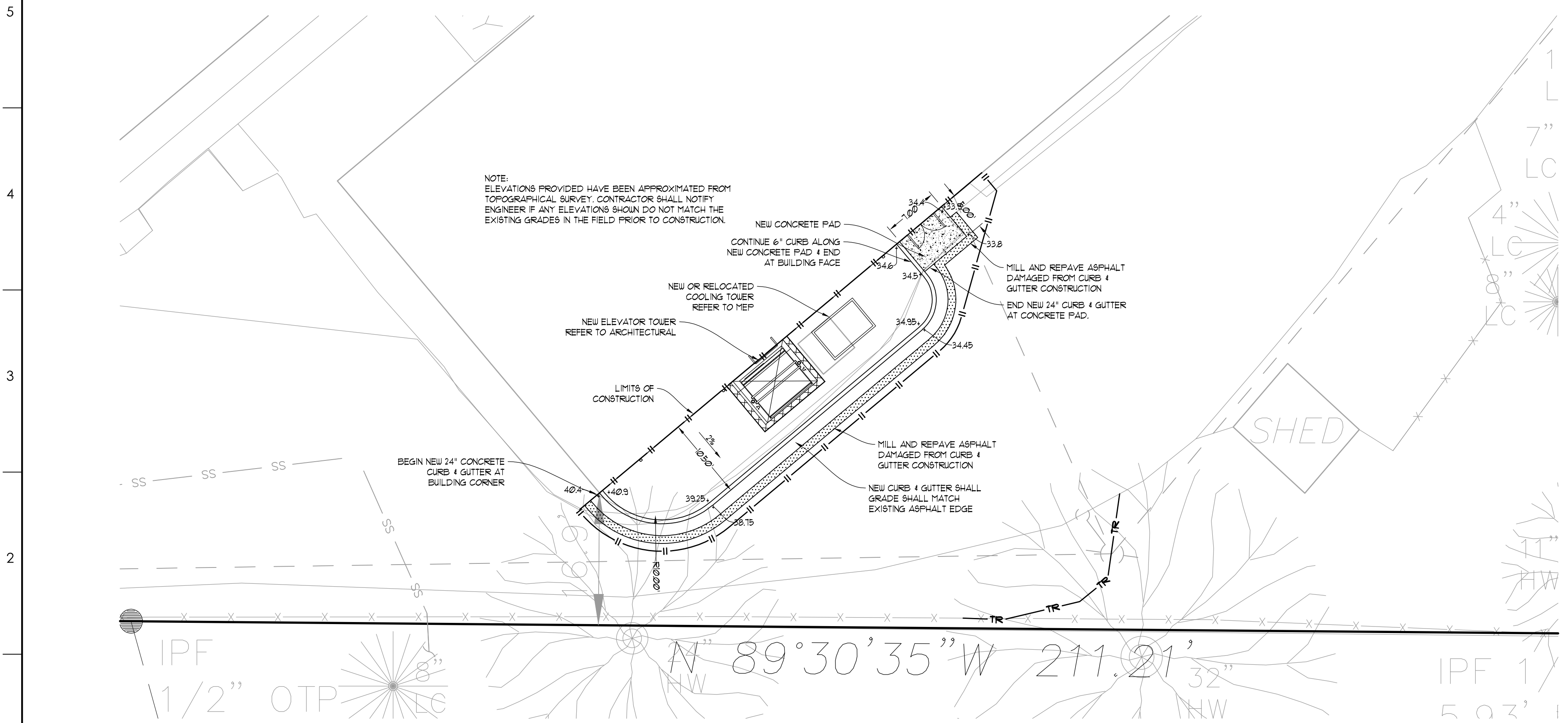
A102

A1 SECOND LEVEL





SITE DEMOLITION & REMOVAL PLAN



SITE STAKING, LAYOUT, & GRADING PLAN

DEMOLITION LEGEND

	TO BE REMOVED BY THE CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE
	SAW CUT LINE
	SAVE & PROTECT DURING CONSTRUCTION
	ASPHALT PAVEMENT REMOVAL LIMITS (DEMOLISH & REMOVE PAVEMENTS TO SUBGRADE)
	CONCRETE CURB AND GUTTER REMOVAL (DEMOLISH AND REPAIR TO NEAREST CONSTRUCTION JOINT)
	SAW CUT LINE
	LIMITS OF DISTURBANCE

DeKALB DEMOLITION NOTES

- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT-OF-WAY.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
- CALL FOR FINAL INSPECTION AT (404) 371-4933.

DEMOLITION NOTES

- CONTRACTOR SHALL REFER TO PHASING SECTION OF THE SPECIFICATIONS. ALL DEMOLITION SHALL BE COORDINATED WITH PHASING.
- WORK DONE AHEAD OF SEQUENCE OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURIAL OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS WILL BE RETAINED IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
- CONTRACTOR SHALL SAVE & PROTECT ALL BUILDINGS, FOUNDATIONS, CANOPIES, FENCES, PLAY EQUIPMENT, ETC. ON THE PROPERTY, UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING STORY DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SAVE AND PROTECT ALL FENCING WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE REMOVAL ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
- CONTRACTOR SHALL ACCOMPLISH DEMOLITION WITHIN THE DRIP-LINE OF EXISTING SPECIMEN TREES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF TREE.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN ACCESS ROUTES TO ALL BUILDING ENTRANCES THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- LIMITS OF CURB AND GUTTER DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
- CURB AND GUTTER AND WALKS SHALL BE REPAIRED TO THE NEAREST CONSTRUCTION JOINT.
- CONTRACTOR SHALL PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE SAVED. FAILURE TO PROVIDE A CLEAN EDGE MAY RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OR RELOCATION (AT HIS/HER EXPENSE) OF EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL AND/OR RELOCATION OF ALL ITEMS WHERE NEW PAVING IS LOCATED.
- CONTRACTOR SHALL REPAIR TO EXISTING CONDITIONS ANY PAVING OR SITE FEATURE DEMOLISHED OR DAMAGED DURING INSTALLATION OF NEW RAIN LEADERS, UTILITIES OR OTHER NEW SITE FEATURES.
- CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTS, VALVE/METER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVICED THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.
- REFER TO SITE UTILITY PLANS FOR RELOCATION, REMOVAL, ABANDONMENT, AND/OR MODIFICATION OF ALL EXISTING PLUMBING FEATURES ON SITE.

NOTE

CONTRACTOR SHALL PROVIDE INITIAL EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY DEMOLITION. REFER TO SHEET C200 FOR MORE INFORMATION ON THE INITIAL EROSION CONTROL PLAN.

STAKING LEGEND

	MILL & REPAVE ASPHALT DAMAGED FROM CURB & GUTTER CONSTRUCTION		1
	CONCRETE PAD		2
	TREE PROTECTION FENCING		4
	LIMITS OF DISTURBANCE		3
	SPOT ELEVATION		

APPLICABLE CODES

DESIGN AND CONSTRUCTION OF THESE PLANS SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) CHAPTER 5, CHAPTER 8, AND APPENDIX C AND APPENDIX D. COMPLY WITH G.A.C. 102-3-20 AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

STAKING PLAN NOTES

PROPOSED BUILDING USE: SCHOOL.

CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.

ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.

CURBS AND GUTTER RADII ARE 5' UNLESS OTHERWISE NOTED.

DO NOT DUPLICATE DRAWINGS WITHOUT WRITTEN PERMISSION

CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR, FROM HIS/HER OPERATIONS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411

THREE WORKING DAYS BEFORE YOU DIG

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR PRIOR DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

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SHEET TITLE SITE DEMOLITION AND LAYOUT PLAN	DRAWN BY: Author SCALE AS INDICATED
PROJECT TITLE: Globe Academy - Elevator Addition 4105 Briarcliff Rd NE, Atlanta, GA 30345	
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C100	